

**LEGEND**

S.B. □	EXISTING STONE BOUND	—*—*	SILTATION FENCE
S.B. ■	STONE BOUND TO BE SET	M.D.P.W.	MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (A/K/A MASSACHUSETTS HIGHWAY DEPARTMENT)
D.H. ⊙	EXISTING DRILL HOLE	E.N.D.R.D.	ESSEX NORTH DISTRICT REGISTRY OF DEEDS
D.H. ⊙	DRILL HOLE TO BE SET	D.M.H. ○	DRAIN MANHOLE
N/F	NOW OR FORMERLY	C.B. □	CATCH BASIN
—112—	EXISTING ELEVATION CONTOUR	H.W. —	HEADWALL
—112—	PROPOSED ELEVATION CONTOUR	INV.	INVERT
112x9	EXISTING SPOT ELEVATION	GAR.	GARAGE
112x9 F.G.	PROPOSED SPOT ELEVATION	S/W	SIDEWALK
PROP.	PROPOSED	U.O.N.	UNLESS OTHERWISE NOTED
F.G.	FINISH GRADE	FES	FLARED END PIPE SECTION
R.C.P.	REINFORCED CONCRETE PIPE	—o—o—o—	EXISTING STONE WALL
C.M.P.	CORRUGATED METAL PIPE	MIN.	MINIMUM
C.L.D.I.	CEMENT LINED DUCTILE IRON	W.F.D.	WOOD FRAME DWELLING
—D—	DRAIN PIPELINE	—W—	WATERMAIN
—E—	ELECTRIC LINE	—  —	WETLANDS LINE (EDGE)
—T—	TELEPHONE LINE	△ A-45	WETLANDS FIELD FLAG
—RD—	ROOF DRAIN	⌘ HYD.	HYDRANT
CEM. CONC.	CEMENT CONCRETE	—+—	GUARDRAIL
BIT. CONC.	BITUMINOUS CONCRETE	⊕	TEST PIT
GRAN.	GRANITE	⊕	PERC TEST
(TYP.)	TYPICAL	⊕	SEPTIC TANK
F.F.	FIRST FLOOR ELEVATION	—	LEACH AREA
C.F.	CELLAR FLOOR ELEVATION	—	EDGE OF WOODS
R	RADIUS	—	LEDGE OUT CROP
L	LENGTH		

**WALNUT RIDGE**

A SINGLE FAMILY SUBDIVISION

LOCATED IN

**NORTH ANDOVER, MASSACHUSETTS**

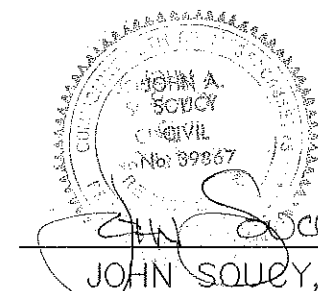
DEVELOPER:

**COPLEY DEVELOPMENT**50 COPLEY DRIVE  
METHUEN, MASS. 01844

DESIGNER:

**MERRIMACK ENGINEERING SERVICES**  
66 PARK STREET  
ANDOVER, MASSACHUSETTS 01810

STEPHEN E. SZAPINSKI, R.L.S.



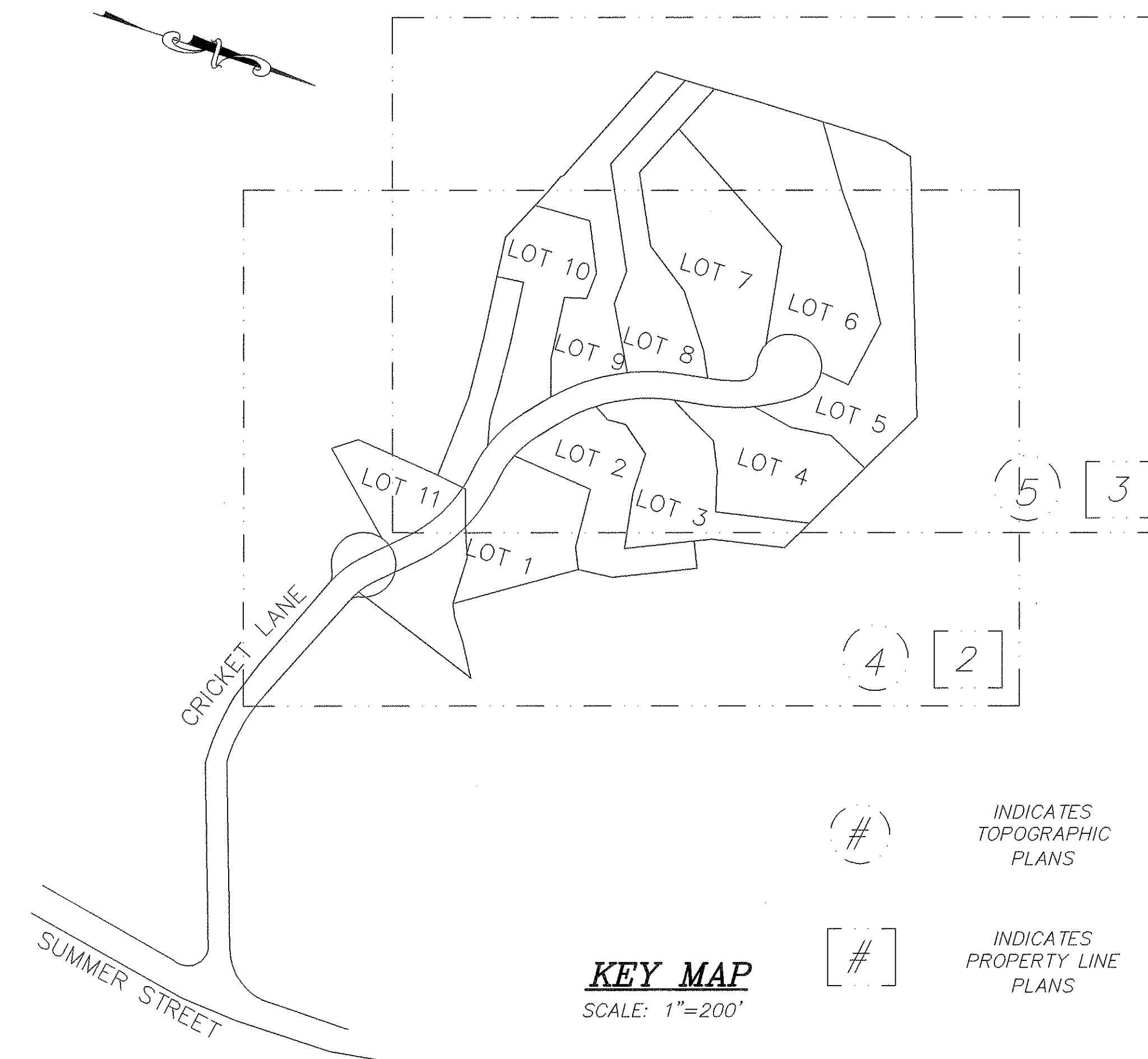
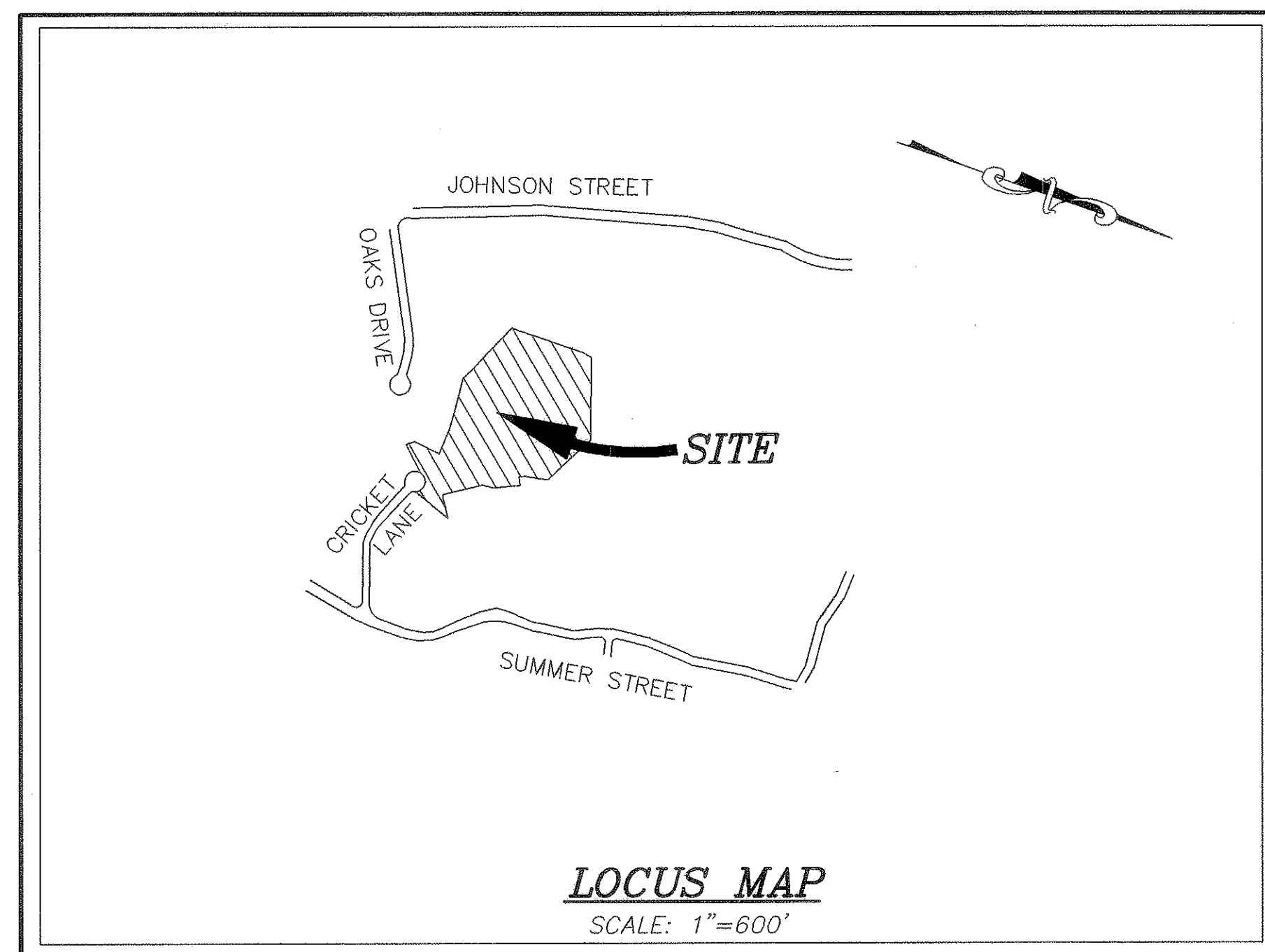
JOHN SOLEY, P.E.

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- 4,5 EXISTING CONDITIONS
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- 8 PLAN AND PROFILE
- 9 OFFSITE IMPROVEMENTS
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- 13 EROSION CONTROL
- 14 CONDITIONS OF APPROVAL

**NOTES**

1. OWNER OF RECORD AT TIME OF APPLICATION IS VERONICA MANDRY, 219 SUMMER ST., NORTH ANDOVER, MA. AND AMY J. CHANNEN, 67 CRICKET LANE, NO ANDOVER, MA.
2. ZONING DISTRICT IS R-2 WHICH REQUIRES 150' FRONTAGE, 43,560 S.F. LOT AREA PER LOT, REQUIRED SETBACKS ARE FRONT 30', SIDE 30' AND REAR 30'.
3. SEE TOWN OF NORTH ANDOVER TAX MAP 38, LOT #38, #44, #45, #46 AND MAP #107A LOT #217 FOR THIS SITE. SEE E.N.D.R.D. BOOK #1486, PAGE #156 AND BOOK #4652 PAGE #9 FOR THIS SITE.
4. TOPOGRAPHY FROM AN AERIAL SURVEY; DATUM BASE U.S.G.S. M.S.L. (N.G.V.D.), WETLANDS FIELD DELINEATED BY WETLANDS PRESERVATION INC., FIELD SURVEYED BY MERRIMACK ENGINEERING SERVICES INC.
5. THE FOLLOWING SUBDIVISION CONTROL LAW WAIVERS ARE REQUESTED WITH THIS PLAN  
A) DEAD END STREET IN EXCESS OF 600' (1800'±)  
B) MINIMUM COVER OVER STORM DRAIN PIPE OF 24" IN LIEU OF 30".
6. THE SITE IS LOCATED IN ZONE X, PER COMMUNITY PANEL #250098 0006C, DATED JUNE 2, 1993 (NOT IN 100 YEAR FLOOD PLAIN)
7. INDIVIDUAL SPRINKLER SYSTEMS FOR FIRE PROTECTION ARE TO BE PROVIDED IN EACH HOUSE CONSTRUCTED IN THIS DEVELOPMENT.
8. INSTALLATION PLANS FOR UNDERGROUND GAS, ELECTRIC, TELEPHONE, AND CABLE TELEVISION SHALL BE PREPARED BY THE APPROPRIATE UTILITY COMPANY AND SUBMITTED TO THE NORTH ANDOVER DEPT. OF PUBLIC WORKS PRIOR TO INSTALLATION.



FOR REGISTRY USE

Plan # 13447  
Registry of Deeds  
North District Essex County  
Received & Recorded  
April 8, 1999 at 10:45am  
Attest:  
[Signature]  
Register of Deeds

APPROVED \_\_\_\_\_, SUBJECT TO COVENANT CONDITIONS  
SET FORTH IN A COVENANT EXECUTED BY  
DATED \_\_\_\_\_ AND TO BE  
RECORDED HERewith.



APPROVED BY THE TOWN OF  
NORTH ANDOVER PLANNING BOARD.

[Signature]  
DATE 3/14/99

FILED \_\_\_\_\_

HEARING \_\_\_\_\_

"I, Joyce A. Bradshaw, CLERK OF THE  
TOWN OF NO. ANDOVER, HEREBY CERTIFY THAT THE  
NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING  
BOARD HAS BEEN RECEIVED AND RECORDED AT THIS  
OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED  
DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT  
AND RECORDING OF SAID NOTICE.

[Signature]  
TOWN CLERK

"I HEREBY CERTIFY THAT THIS PLAN WAS  
PREPARED UNDER MY DIRECT SUPERVISION, AND  
THAT THIS PLAN CONFORMS TO THE RULES AND  
REGULATIONS OF THE REGISTRY OF DEEDS.  
ALL SURVEYING CONFORMS TO THE TECHNICAL  
STANDARDS FOR PROPERTY SURVEYS OF THE  
AMERICAN CONGRESS ON SURVEYING AND MAPPING."



OWNER: WALNUT RIDGE DEVELOPMENT LLC

DEFINITIVE PLAN	
<b>WALNUT RIDGE</b>	
<b>NORTH ANDOVER, MASS.</b>	
DEVELOPER:	
<b>COPLEY DEVELOPMENT</b>	
50 COPLEY DRIVE - METHUEN, MASS. 01844	
SCALE: AS NOTED	0 1 2
DATE: OCTOBER 29, 1997 REV. 6-22-98	
MERRIMACK ENGINEERING SERVICES	
66 PARK STREET	
ANDOVER, MASSACHUSETTS 01810	
TITLE	SHEET 1 OF 14

Plan # 13447  
Registry of Deeds  
North District Essex County  
Recorded & Returned  
April 8, 1999 at 10:45 A.M.  
Attest:  
*Thomas J. Burke*

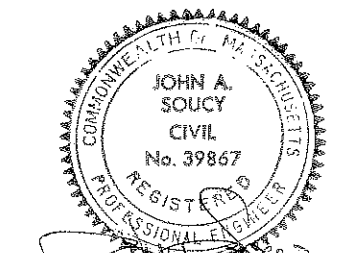
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NORTH ANDOVER PLANNING BOARD  
*John S. Soucy* 3/14/99  
DATE  
FILED  
HEARING

FOR REGISTRY USE

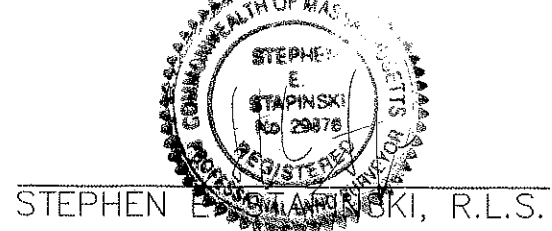
THIS IS TO CERTIFY THAT TWENTY (20) DAYS  
HAVE ELAPSED FROM DATE OF DECISION FILED  
WITHOUT FILING OF AN APPEAL.

DATE March 17, 1999  
TOWN CLERK John A. Bradshaw

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THIS PLAN CONFORMS TO THE RULES AND  
REGULATIONS OF THE REGISTRY OF DEEDS



1-14-99  
6-22-98  
DATE

DEFINITIVE PLAN	
WALNUT RIDGE NORTH ANDOVER, MASS.	
DEVELOPER: COPLEY DEVELOPMENT 50 COPLEY DRIVE - METHUEN, MASS. 01844	
SCALE: 1"=40'	0 20 40 80
DATE: OCTOBER 29, 1997 REV.: 6-22-98	
MERRIMACK ENGINEERING SERVICES 66 PARK STREET ANDOVER, MASSACHUSETTS 01810	
PROPERTY LINE PLAN	SHEET 2 OF 14



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 North District Essex County  
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 FOR REGISTRY USE

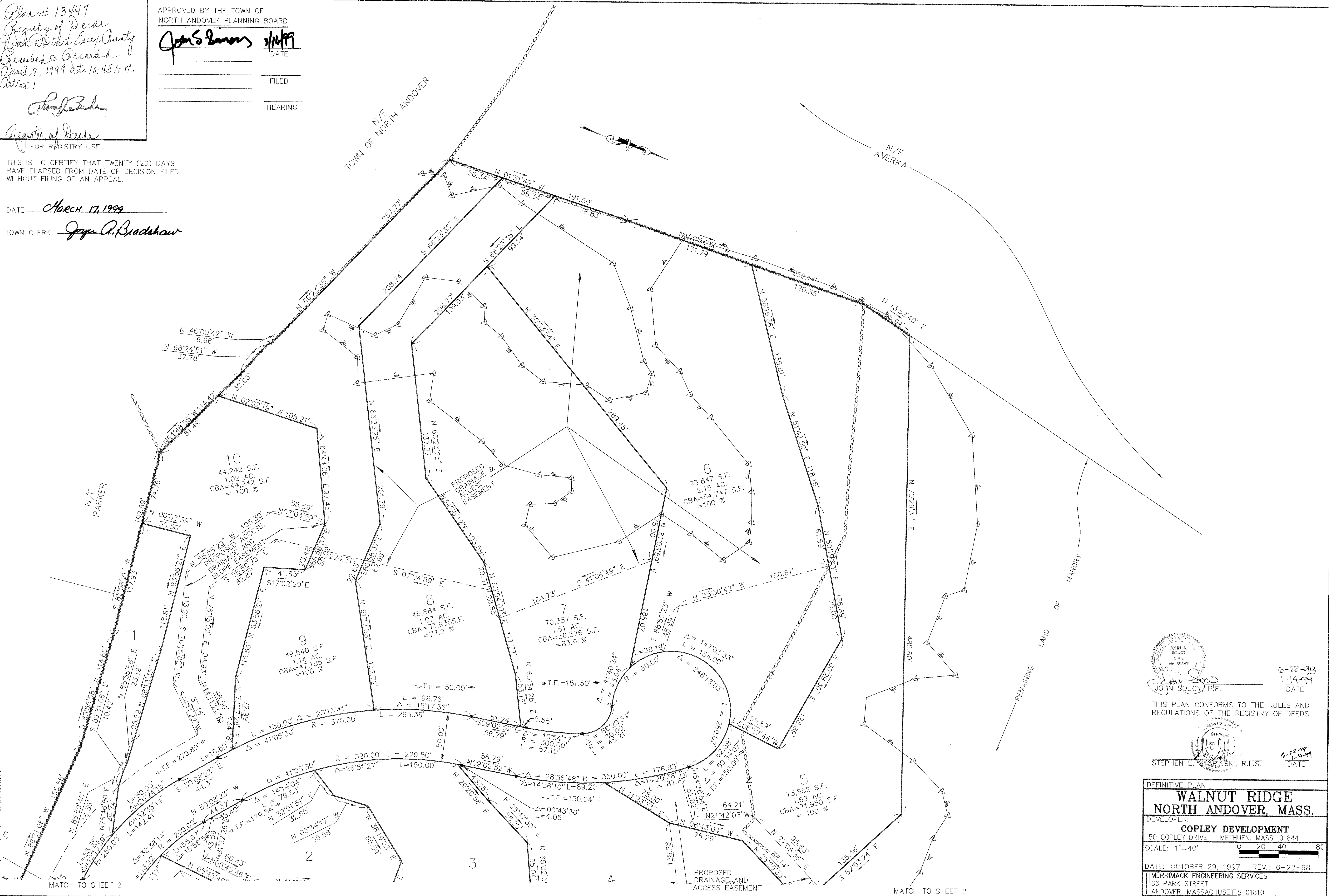
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 NORTH ANDOVER PLANNING BOARD

*John A. Soucy* 3/16/99  
 DATE  
 FILED  
 HEARING

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DATE March 17, 1999

TOWN CLERK John A. Bradshaw



JOHN A. SOUCY  
 CIVIL  
 No. 39867  
*John A. Soucy*  
 JOHN SOUCY P.E.

6-22-98  
 1-14-99  
 DATE

THIS PLAN CONFORMS TO THE RULES AND  
 REGULATIONS OF THE REGISTRY OF DEEDS

STEPHEN E. STAFINSKI, R.L.S.  
 DATE

DEFINITIVE PLAN  
**WALNUT RIDGE**  
**NORTH ANDOVER, MASS.**  
 DEVELOPER:  
**COPLEY DEVELOPMENT**  
 50 COPLEY DRIVE - METHUEN, MASS. 01844  
 SCALE: 1"=40' 0 20 40 80  
 DATE: OCTOBER 29, 1997 REV.: 6-22-98  
 MERRIMACK ENGINEERING SERVICES  
 66 PARK STREET  
 ANDOVER, MASSACHUSETTS 01810  
 PROPERTY LINE PLAN SHEET 3 OF 14

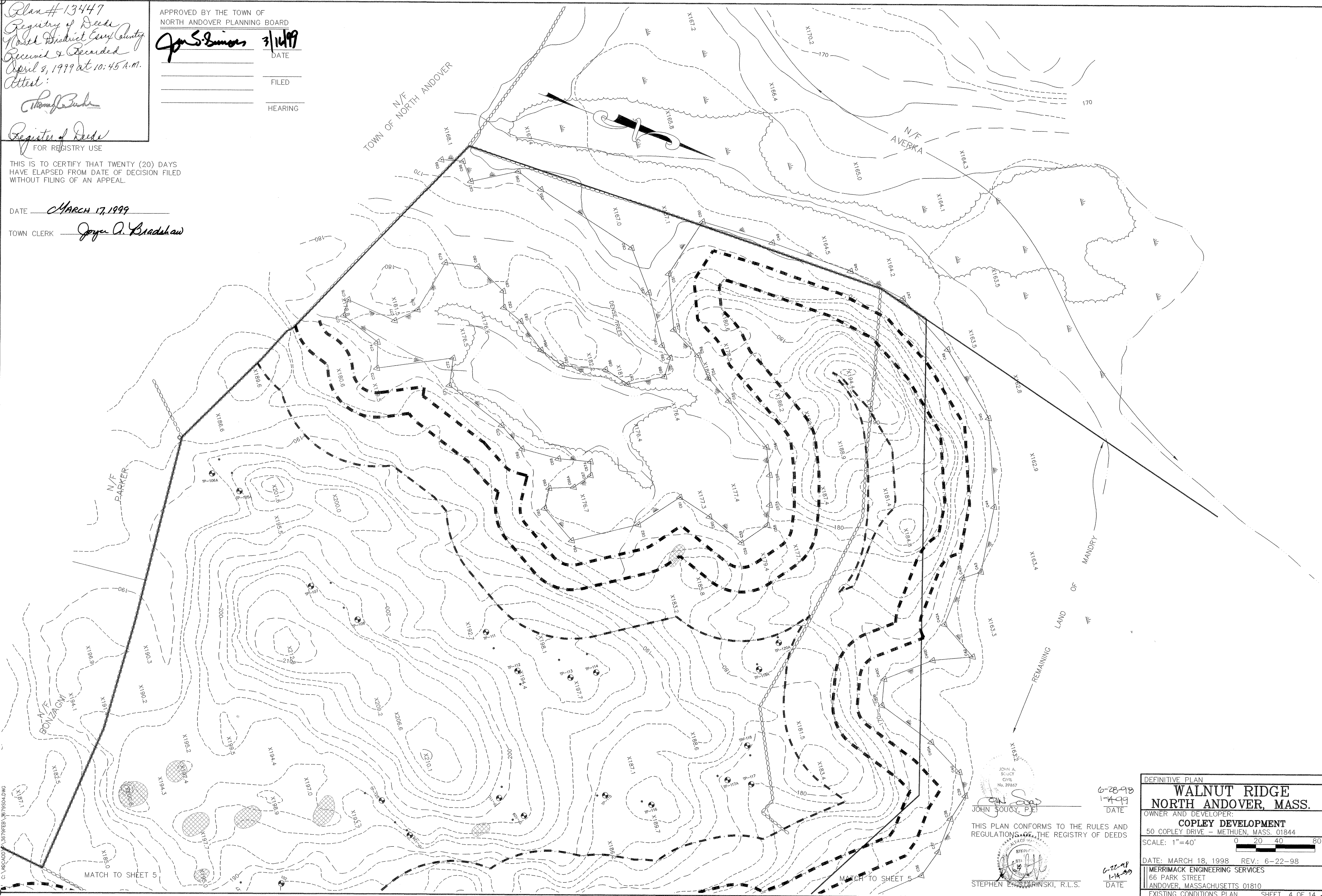
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North District Essex County  
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Attest:  
*[Signature]*  
Register of Deeds  
FOR REGISTRY USE

APPROVED BY THE TOWN OF  
NORTH ANDOVER PLANNING BOARD  
*[Signature]* 3/14/99  
DATE  
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\_\_\_\_\_  
HEARING

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WITHOUT FILING OF AN APPEAL.

DATE MARCH 17, 1999

TOWN CLERK *[Signature]*



JOHN A. SOUCY  
CIVIL  
No. 39987  
*[Signature]*  
JOHN SOUCY, P.E.

THIS PLAN CONFORMS TO THE RULES AND  
REGULATIONS OF THE REGISTRY OF DEEDS

STEPHEN E. STARINSKI, R.L.S.  
*[Signature]*

6-28-98  
1-14-99  
DATE

6-22-98  
1-14-99  
DATE

DEFINITIVE PLAN	
WALNUT RIDGE NORTH ANDOVER, MASS.	
OWNER AND DEVELOPER:	
COPLEY DEVELOPMENT	
50 COPLEY DRIVE - METHUEN, MASS. 01844	
SCALE: 1"=40'	
DATE: MARCH 18, 1998 REV.: 6-22-98	
MERRIMACK ENGINEERING SERVICES	
66 PARK STREET	
ANDOVER, MASSACHUSETTS 01810	
EXISTING CONDITIONS PLAN	
SHEET 4 OF 14	



2.25

13447

Plan # 13447  
Register of Deeds  
North District Essex County  
Received & Recorded  
April 8, 1999 at 10:45 A.M.  
Attest:

APPROVED BY THE TOWN OF  
NORTH ANDOVER PLANNING BOARD  
*Jan S. Linos* 3/16/99  
DATE  
\_\_\_\_\_  
FILED  
\_\_\_\_\_  
HEARING

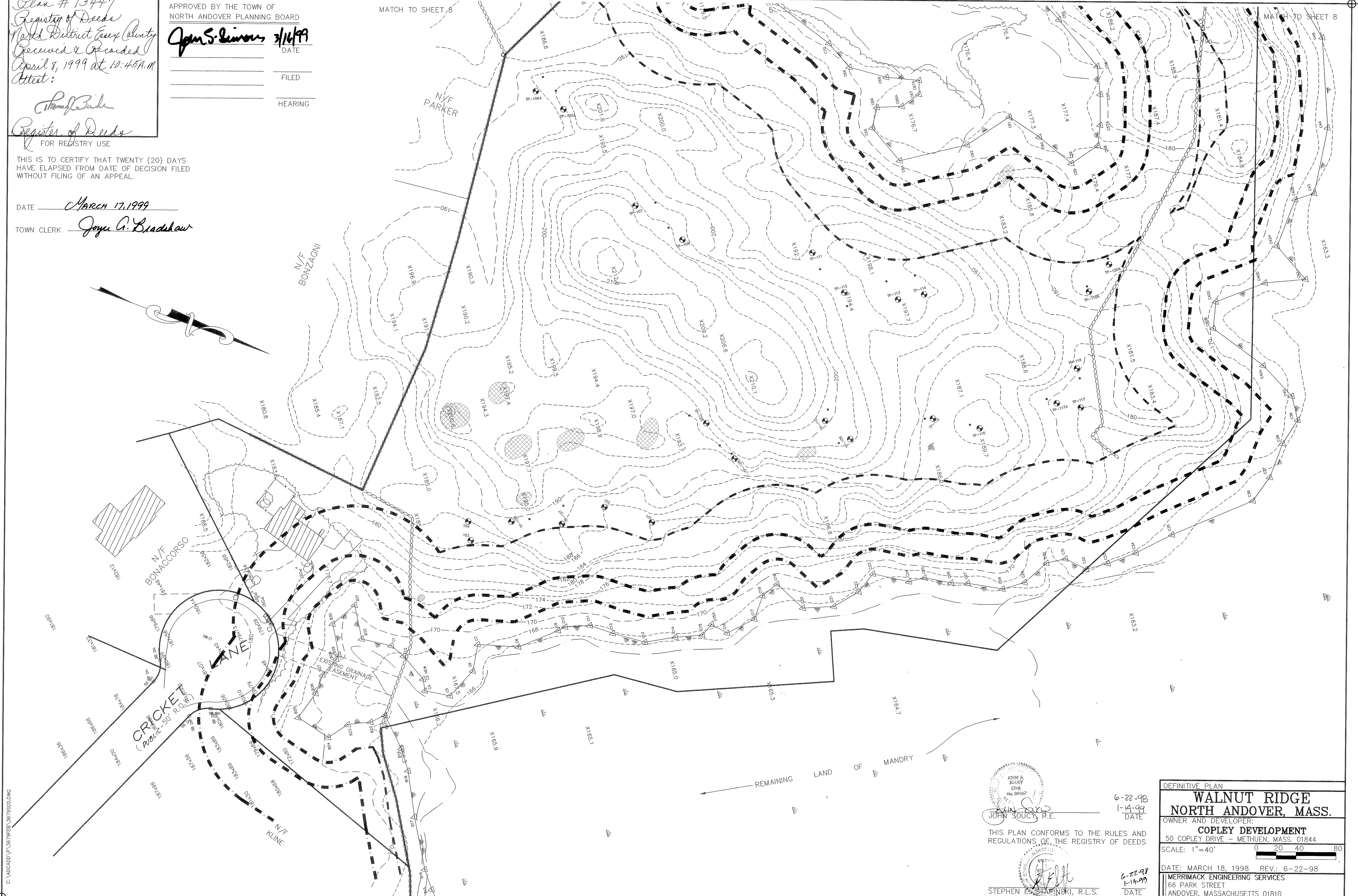
*Jan S. Linos*  
Register of Deeds  
FOR REGISTRY USE

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HAVE ELAPSED FROM DATE OF DECISION FILED  
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DATE MARCH 17, 1999  
TOWN CLERK Joan G. Bradshaw

MATCH TO SHEET 8

MATCH TO SHEET 8



JOHN A. SOUCY  
CIVIL  
No. 39667  
JOHN SOUCY R.E.

THIS PLAN CONFORMS TO THE RULES AND  
REGULATIONS OF THE REGISTRY OF DEEDS

STEPHEN E. MARINSKI, R.L.S.

6-22-98  
1-14-99  
DATE

DEFINITIVE PLAN	
<b>WALNUT RIDGE</b>	
<b>NORTH ANDOVER, MASS.</b>	
OWNER AND DEVELOPER:	
<b>COPLEY DEVELOPMENT</b>	
50 COPLEY DRIVE - METHUEN, MASS. 01844	
SCALE: 1"=40'	0 20 40 80
DATE: MARCH 18, 1998 REV.: 6-22-98	
MERRIMACK ENGINEERING SERVICES	
66 PARK STREET	
ANDOVER, MASSACHUSETTS 01810	
EXISTING CONDITIONS PLAN	SHEET 5 OF 14

2.25

13447

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Plan # 13447  
Register of Deeds  
North District of Middlesex County  
Received & Recorded  
April 8, 1999 at 10:45 A.M.  
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*[Signature]*  
Register of Deeds  
FOR REGISTRY USE

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NORTH ANDOVER PLANNING BOARD  
*[Signature]* 3/16/99  
DATE  
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\_\_\_\_\_  
HEARING

MATCH TO SHEET 5

MATCH TO SHEET 5

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DATE MARCH 17, 1999

TOWN CLERK Joyce A. Bradshaw



FOUNDATION DRAIN (TYP.)  
TO BE CONSTRUCTED  
WITHIN 1 FOOT OF  
FOUNDATION WALL.  
OUTLET PIPES TO BE  
INSTALLED ON A CONSTANT  
GRADE TO DAYLIGHT

PROP. POND 30  
(SEE DETAIL)

100' BUFFER ZONE

PROP. MORTARED FIELDSTONE  
RETAINING WALL

50' NO BUILD  
ZONE

25' NO DISTURB  
ZONE

PROP. POND 20  
(SEE DETAIL)

PROP. MORTARED FIELDSTONE  
RETAINING WALL

PROP. MAX. 7 FT. HIGH  
CEM. CONC.  
RETAINING WALL (SEE DETAIL)

PROP. 400 S.F. WETLAND REPLACEMENT

PROP. 193 SF OF WETLAND FILLING

PROP. POND 10  
PEAK 100 YEAR  
ELEV. = 173.2  
TOP BERM  
EL. = 174.2  
(SEE DETAIL)

SEE SHEET 9 FOR  
CONTINUATION OF  
PROP. SIDEWALK  
CONSTRUCTION

EXISTING DRIVEWAY  
TO BE REMOVED

PROP. BIT. CONC.  
DRIVEWAY

BENCHMARK  
CENTER S.B.  
FND. EL. = 181.22

N/F KLINE

N/F PARKER

N/F BONZAGNI

N/F BONACCORSO

CRICKET LANE

LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

LOT 6

LOT 7

LOT 8

LOT 9

LOT 10

LOT 11

REMAINING LAND OF MANDRY

JOHN A. SOLIT, P.E.  
CIVIL  
No. 39862  
DATE 1-14-99  
6-22-98

THIS PLAN CONFORMS TO THE RULES AND  
REGULATIONS OF THE REGISTRY OF DEEDS

STEPHEN J. PANSKI, R.L.S.

DEFINITIVE PLAN  
**WALNUT RIDGE**  
**NORTH ANDOVER, MASS.**  
OWNER AND DEVELOPER:  
**COPLEY DEVELOPMENT**  
50 COPLEY DRIVE - METHUEN, MASS. 01844  
SCALE: 1"=40'  
DATE: OCTOBER 29, 1997 REV. 6-22-98  
MERRIMACK ENGINEERING SERVICES  
66 PARK STREET  
ANDOVER, MASSACHUSETTS 01810  
TOPO, GRADING & UTIL. PLAN SHEET 6 OF 14



2.25

13447

Plan # 13447  
Registry of Deeds  
North District, Essex County  
Received & Recorded  
April 8, 1999 at 10:45 A.M.  
Attest:  
*Thomas J. Burke*  
Register of Deeds  
FOR REGISTRY USE

APPROVED BY THE TOWN OF  
NORTH ANDOVER PLANNING BOARD  
*John S. Limony* 3/16/99  
DATE  
\_\_\_\_\_  
FILED  
\_\_\_\_\_  
HEARING

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DATE MARCH 17, 1999  
TOWN CLERK *Joseph A. Bradshaw*

FOR CONTINUATION SEE PLAN ENTITLED  
"TOWN LAND PEDESTRIAN WALKWAY PLAN"  
DRAWN BY MERRIMACK ENGINEERING, DRAWN  
FOR COPLEY DEVELOPMENT.

PROPOSED 6' WIDE PEDESTRIAN ACCESS PATH  
APPROXIMATE LOCATION. LOCATION TO BE  
ADJUSTED IN FIELD TO AVOID TREES OF 6 INCH  
CALIPER OR GREATER. ALL OTHER VEGETATION  
WITHIN PATH TO BE REMOVED.  
PATH IS TO BE CLEARED OF ALL STONES LARGER  
THAN 6 INCHES IN DIAMETER AND REGRADED TO  
A SMOOTH CONTINUOUS SURFACE FOLLOWING  
THE EXISTING TOPOGRAPHY.

13447

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JOHN A. SOUCY  
CIVIL  
No. 39962  
DATE  
6-22-98  
1-14-99  
DATE

THIS PLAN CONFORMS TO THE RULES AND  
REGULATIONS OF THE REGISTRY OF DEEDS

STEPHEN E. STAPINSKI, R.L.S.  
DATE

DEFINITIVE PLAN  
**WALNUT RIDGE**  
**NORTH ANDOVER, MASS.**  
DEVELOPER:  
**COPLEY DEVELOPMENT**  
50 COPLEY DRIVE - METHUEN, MASS. 01844  
SCALE: 1"=40' 0 20 40 80  
DATE: OCTOBER 29, 1997 REV. 6-22-98  
MERRIMACK ENGINEERING SERVICES  
66 PARK STREET  
ANDOVER, MASSACHUSETTS 01810  
TOPO, GRADING, & UTIL. PLAN SHEET 7 OF 14

2.25







Plan # 13447  
Registry of Deeds  
North District-East County  
Received & Recorded  
April 8, 1999 at 10:45 A.M.  
Attest:  
*Thomas J. Smith*  
Register of Deeds  
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TOWN CLERK Joyce A. Boudreau

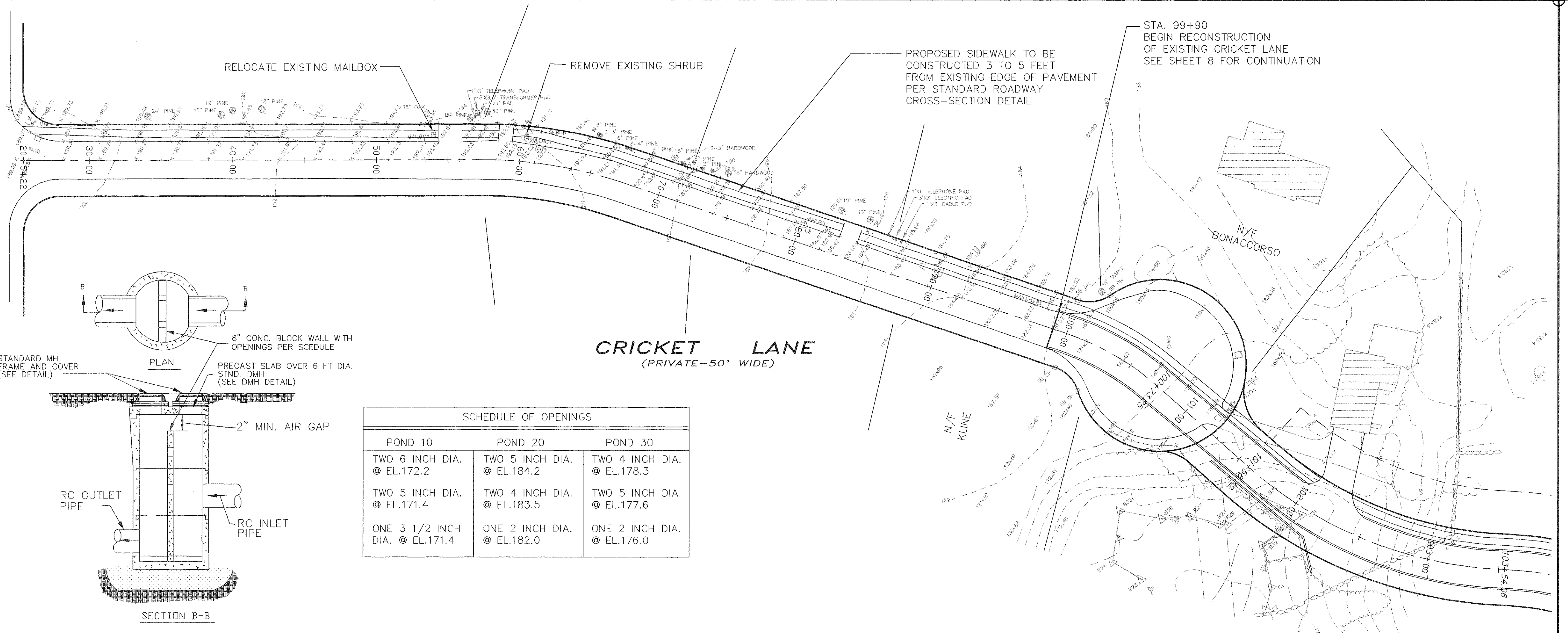
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NORTH ANDOVER PLANNING BOARD

John S. Linn 3/14/99  
DATE

FILED

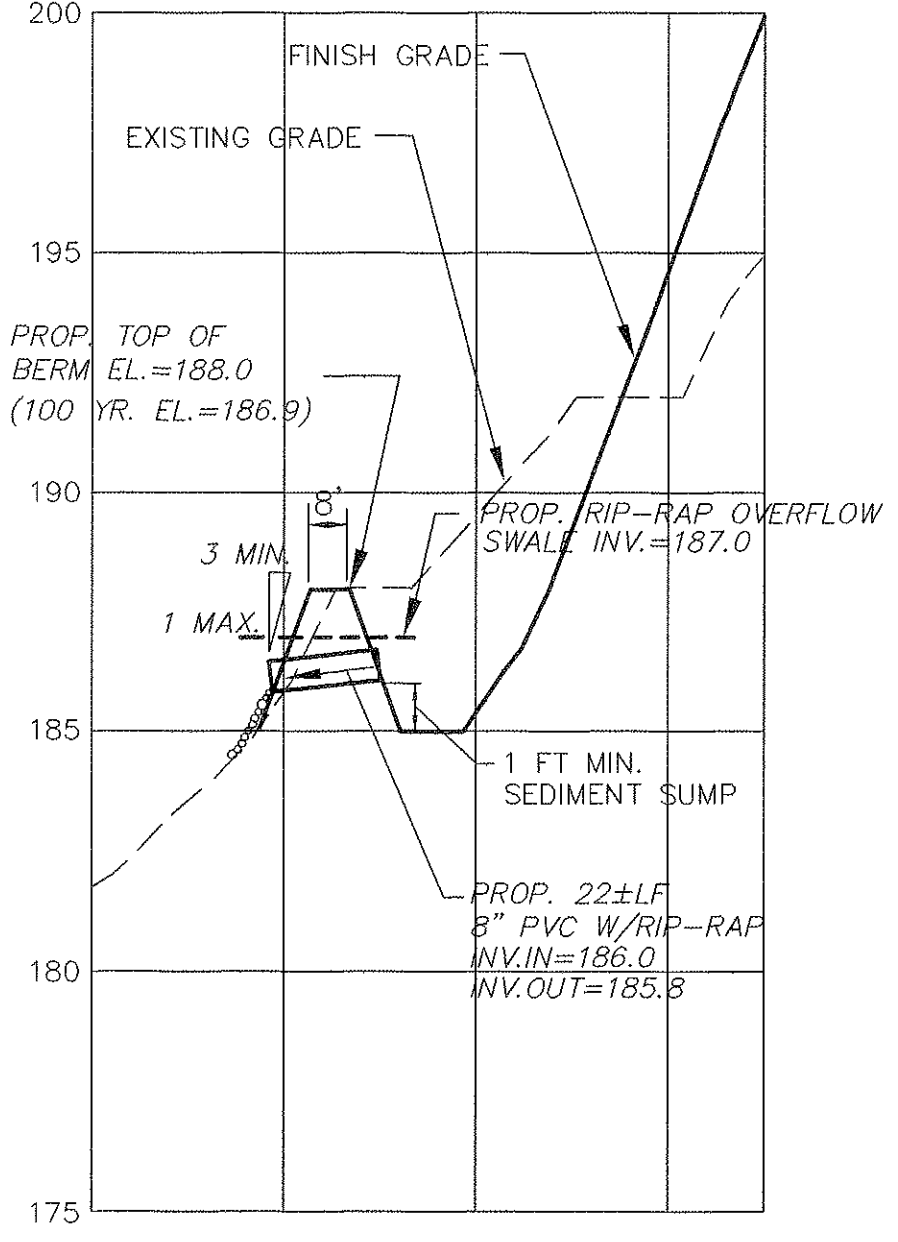
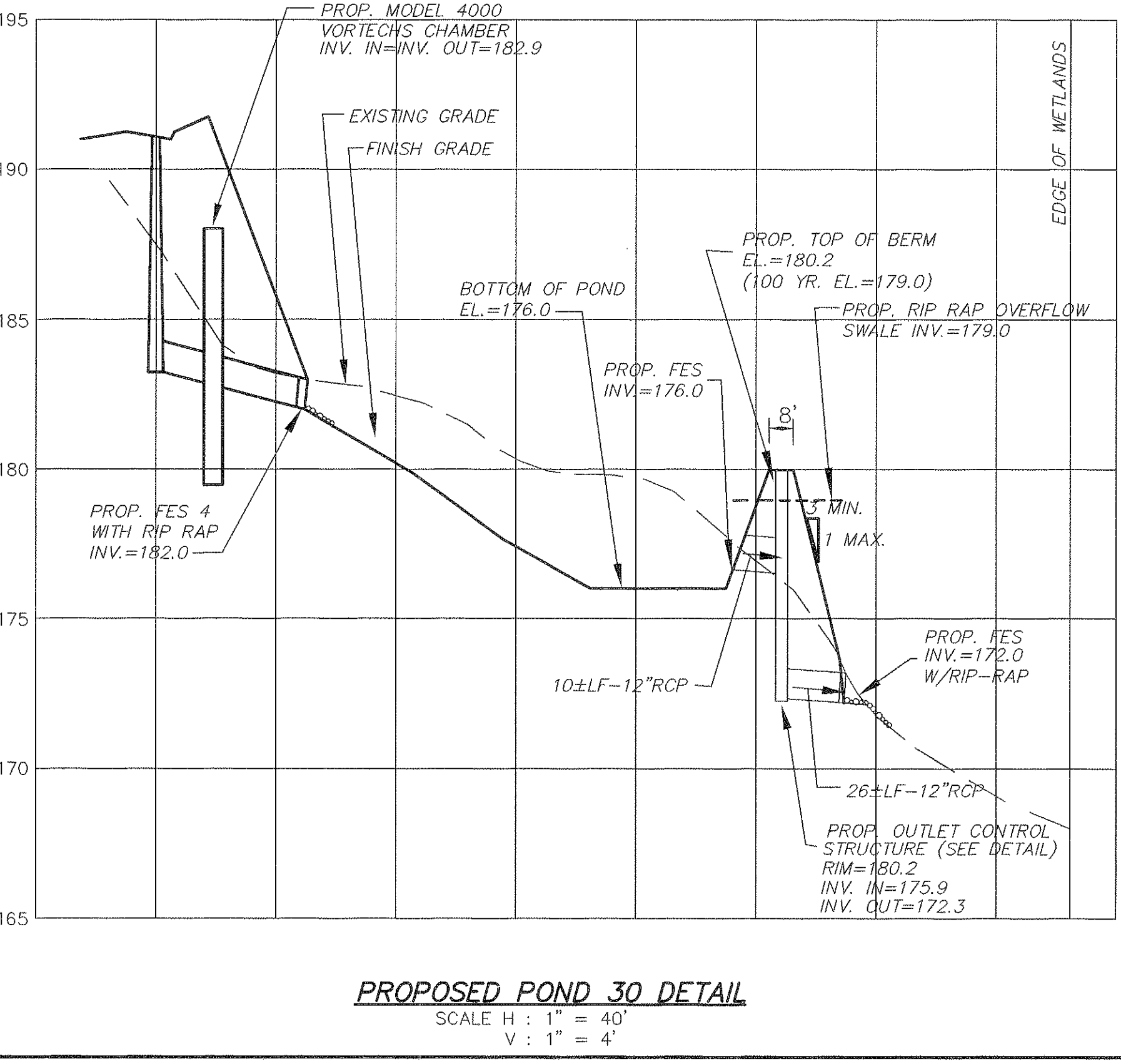
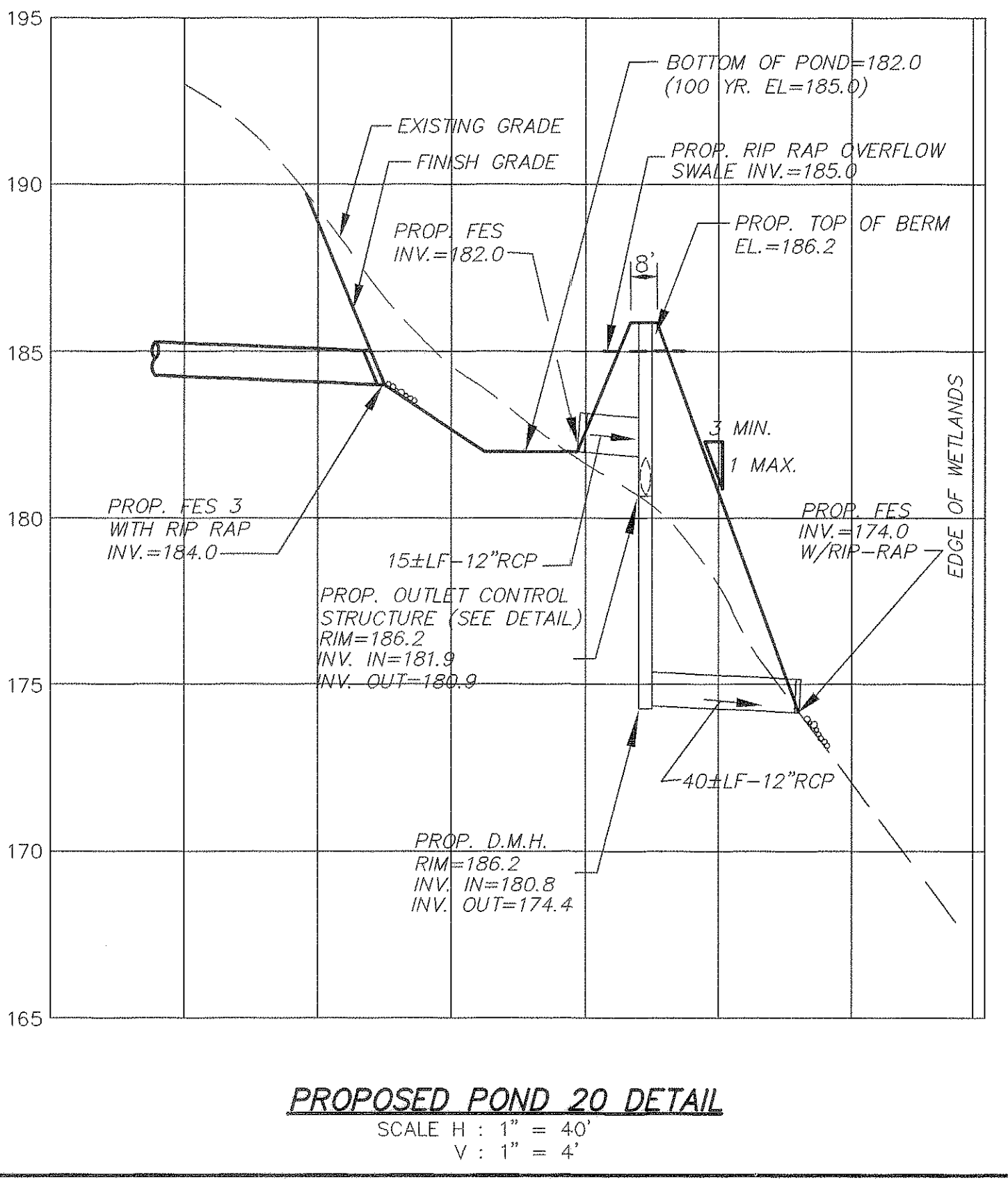
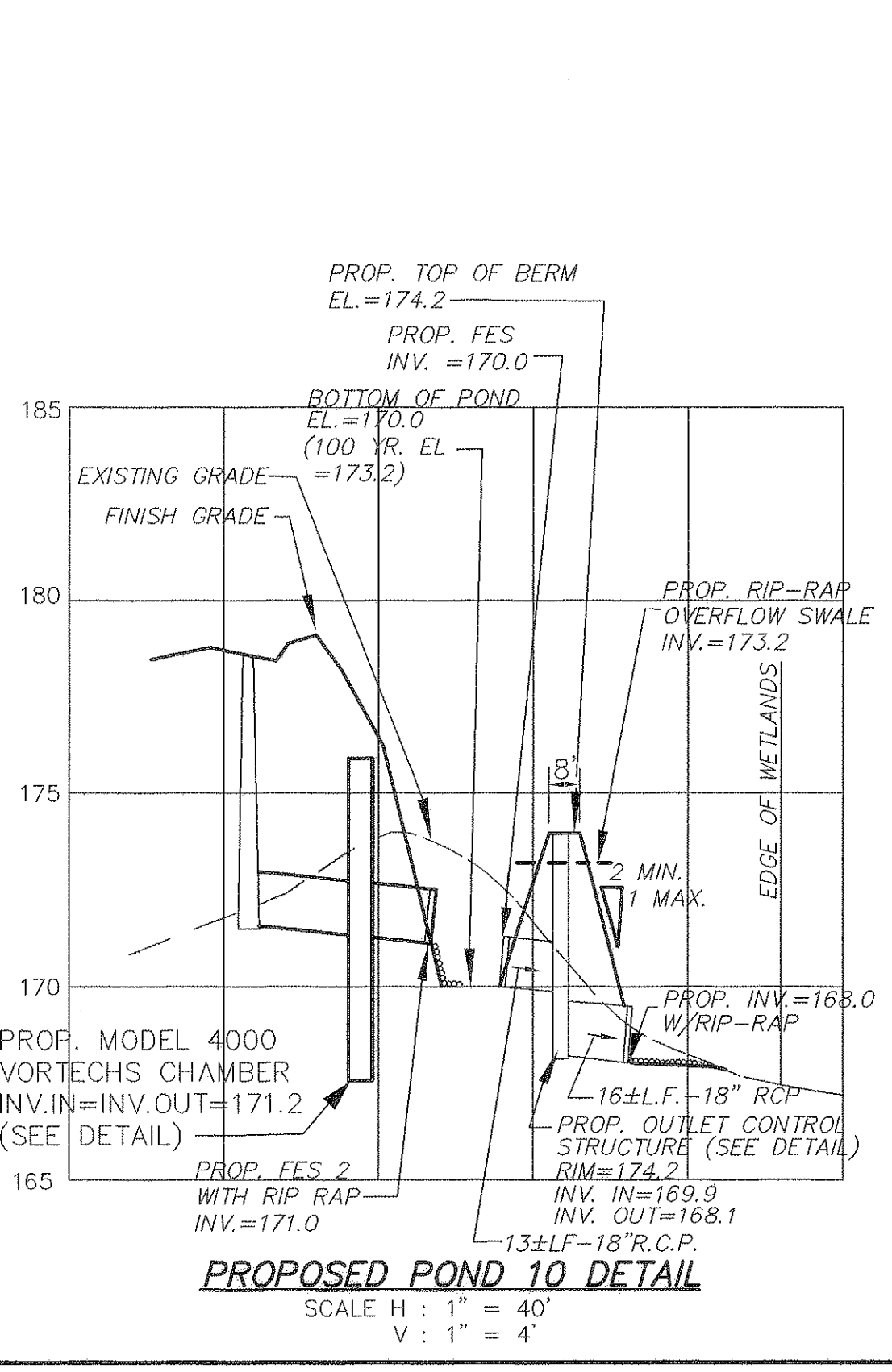
HEARING

SUMMER STREET  
(PUBLIC-VARIABLE WIDTH)



SCHEDULE OF OPENINGS		
POND 10	POND 20	POND 30
TWO 6 INCH DIA. @ EL.172.2	TWO 5 INCH DIA. @ EL.184.2	TWO 4 INCH DIA. @ EL.178.3
TWO 5 INCH DIA. @ EL.171.4	TWO 4 INCH DIA. @ EL.183.5	TWO 5 INCH DIA. @ EL.177.6
ONE 3 1/2 INCH DIA. @ EL.171.4	ONE 2 INCH DIA. @ EL.182.0	ONE 2 INCH DIA. @ EL.176.0

PROPOSED OUTLET CONTROL  
STRUCTURE  
NOT TO SCALE



PROPOSED POND 40 DETAIL  
SCALE H: 1" = 40'  
V: 1" = 4'

JOHN A. SOUCY  
CIVIL  
REGISTERED PROFESSIONAL  
No. 39967  
STATE OF MASSACHUSETTS  
JOHN SOUCY, P.E.

THIS PLAN CONFORMS TO THE RULES AND  
REGULATIONS OF THE REGISTRY OF DEEDS

STEPHEN J. PRINSKI  
REGISTERED PROFESSIONAL  
No. 39967  
STATE OF MASSACHUSETTS  
STEPHEN J. PRINSKI, R.L.S.

1-14-99  
6-22-98  
DATE

1-14-99  
6-22-98  
DATE

DEFINITIVE PLAN

**WALNUT RIDGE  
NORTH ANDOVER, MASS.**

DEVELOPER:  
**COPLEY DEVELOPMENT**  
50 COPLEY DRIVE - METHUEN, MASS. 01844

SCALE: AS NOTED

DATE: OCT. 29, 1997 REV.: 6-22-98

MERRIMACK ENGINEERING SERVICES  
66 PARK STREET  
ANDOVER, MASSACHUSETTS 01810

OFFSITE IMPROVEMENTS SHEET 9 OF 14



1344

Register of Deeds  
FOR REGISTRY USE

DEFINITIVE PLAN	
<p align="center"><b>WALNUT RIDGE</b>  <b>NORTH ANDOVER, MASS.</b></p>	
DEVELOPER:	
<p align="center"><b>COPLEY DEVELOPMENT</b>          50 COPLEY DRIVE - METHUEN, MASS. 01844</p>	
SCALE: AS NOTED	
DATE: OCT. 29, 1997	REV.: 6-22-98
MERRIMACK ENGINEERING SERVICES 66 PARK STREET ANDOVER, MASSACHUSETTS 01810	
DETAILS	SHEET 10 OF 14

2.25

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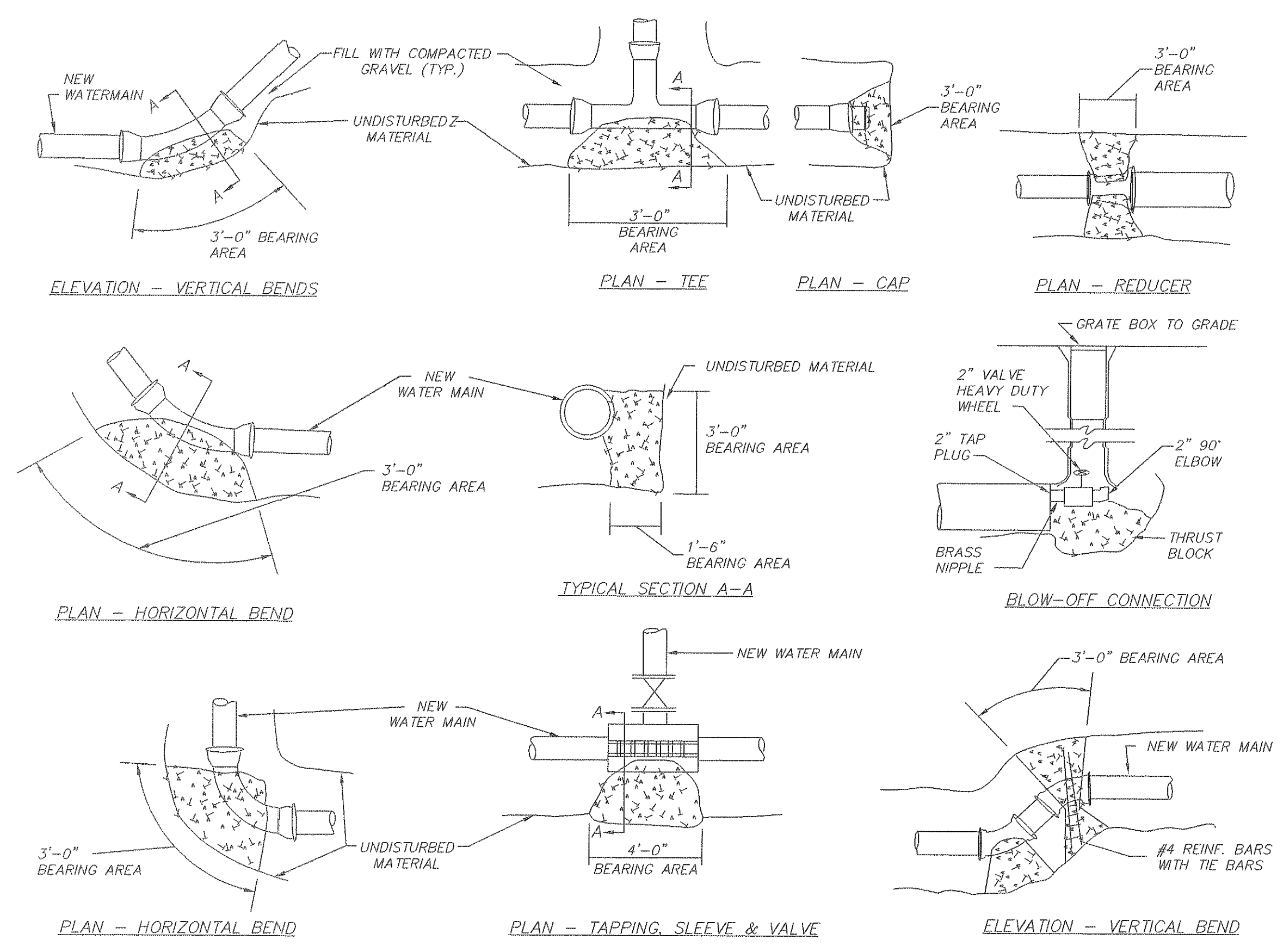
APPROVED BY THE TOWN OF  
NORTH ANDOVER PLANNING BOARD  
*John S. Linn* 3/16/99  
DATE  
FILED  
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DATE MARCH 17, 1999  
TOWN CLERK *John A. Brindshaw*

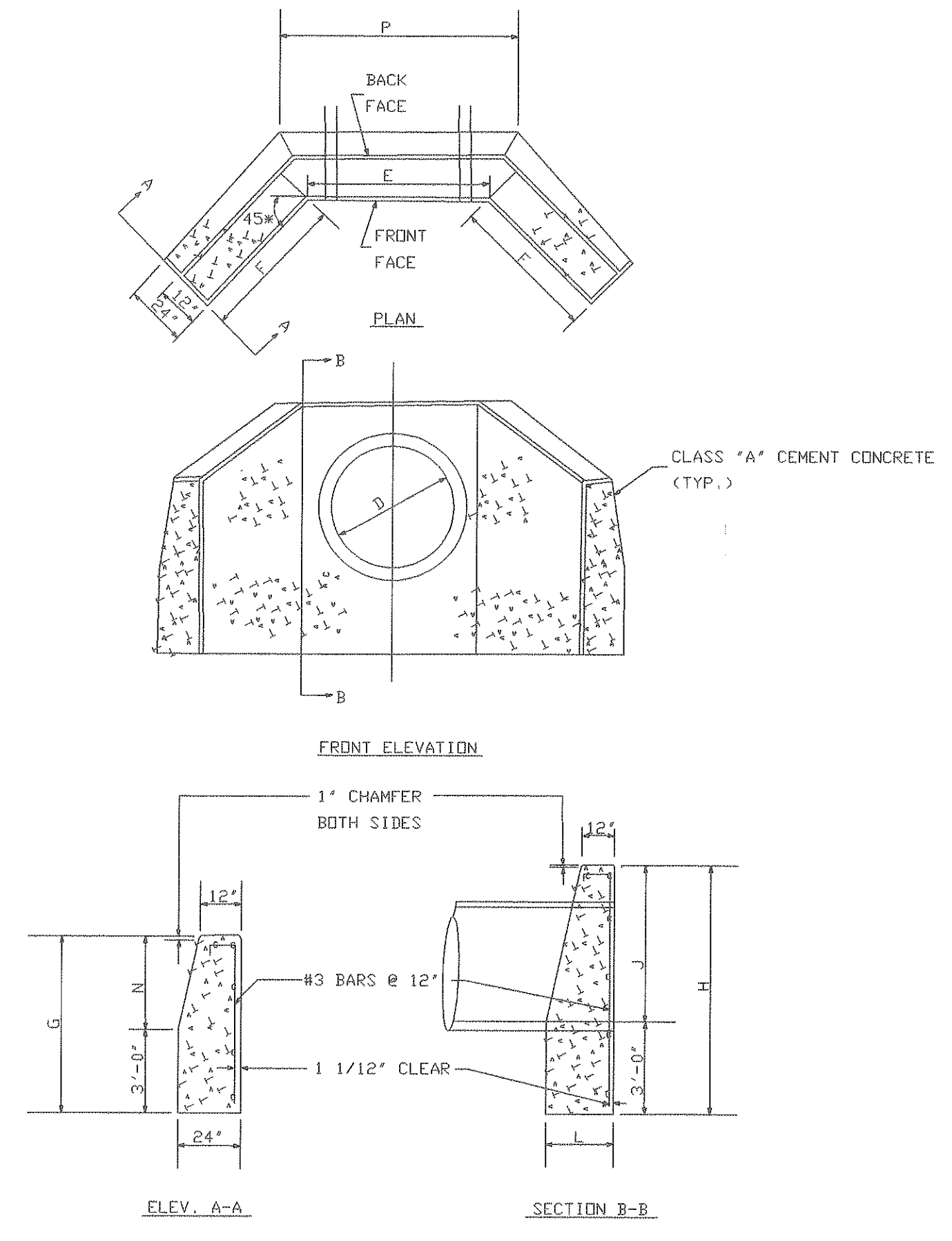
NOTES

1. ALL ROADWAY AND UTILITY CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE REGULATIONS OF THE CITY/TOWN OF NORTH ANDOVER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO AND/OR DURING CONSTRUCTION. THE DESIGN ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES IN THE PLANS BEFORE PRECEDING WITH CONSTRUCTION.
4. EROSION CONTROL MEASURES SUCH AS HAYBALES, SILT FENCES, DRAINAGE DIVERSIONS, ETC. SHALL BE INSTALLED AND MAINTAINED ON A CONTINUOUS BASIS IN ORDER TO PROTECT WETLANDS AND OFFSITE AREAS DURING CONSTRUCTION.
5. ALL LOT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE ORDER OF CONDITIONS ISSUED BY THE CONSERVATION COMMISSION FOR ALL WORK IN OR WITHIN 100 FEET OF THE BORDERING VEGETATED WETLANDS SHOWN HEREON.
6. PIPE LENGTHS ARE FOR BIDDING INFORMATION ONLY AND ACTUAL LENGTHS MAY VARY SLIGHTLY. PIPE LENGTHS ARE MEASURED FROM THE CENTER OF STRUCTURES.
7. ALL BACKFILL TO BE COMPACTED TO 95 PERCENT MAXIMUM DRY DENSITY DETERMINED BY AASHTO-180 D.
8. SHEETING, IF USED, SHALL BE CUT OFF NO MORE THAN 12 INCHES ABOVE TOP OF PIPE.
9. UNSUITABLE MATERIAL FOUND BELOW ANY INVERT OR STRUCTURE SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL, AND SHALL NOT BE USED FOR TRENCH BACKFILL.
10. RIP-RAP SHALL BE UNMORTARED CITY/TOWN STANDARD AT THE OUTLETS OF PIPES WHERE INDICATED ON THE PLAN.
11. IN ALL CASES WHERE SEWER LINES AND WATER LINES ARE SEPARATED BY LESS THAN 10 FEET (FACE OF PIPES) THE WATER LINE SHALL BE INSTALLED AT LEAST 18 INCHES ABOVE THE SEWER LINE OTHERWISE BOTH LINES SHALL BE ENCASED IN CONCRETE.
12. STORM DRAIN PIPE SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED.
13. STORM DRAIN PIPE WITH LESS THAN 3 FEET OF COVER SHALL BE CLASS V REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED.



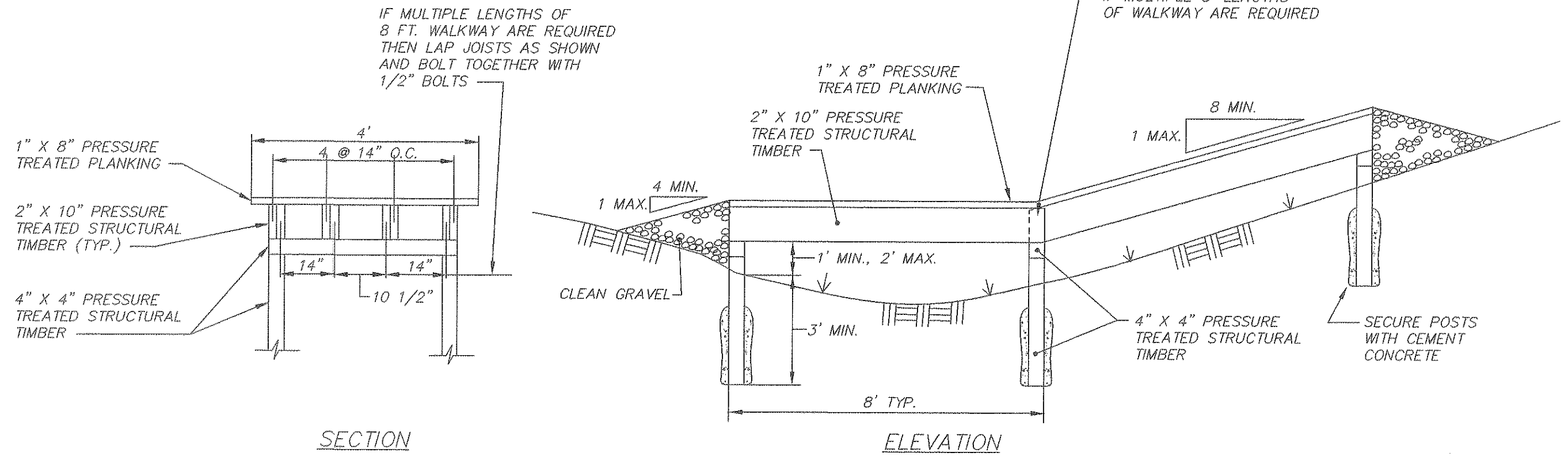
CONCRETE THRUST BLOCK AND ANCHORAGE DETAILS

NOTE: ALL CONCRETE SHALL BE KEY-WAYED INTO UNDISTURBED EARTH. PROVIDE THRUST BLOCKS AND ANCHORS FOR WATERMAIN AND FORCE MAIN CONSTRUCTION.



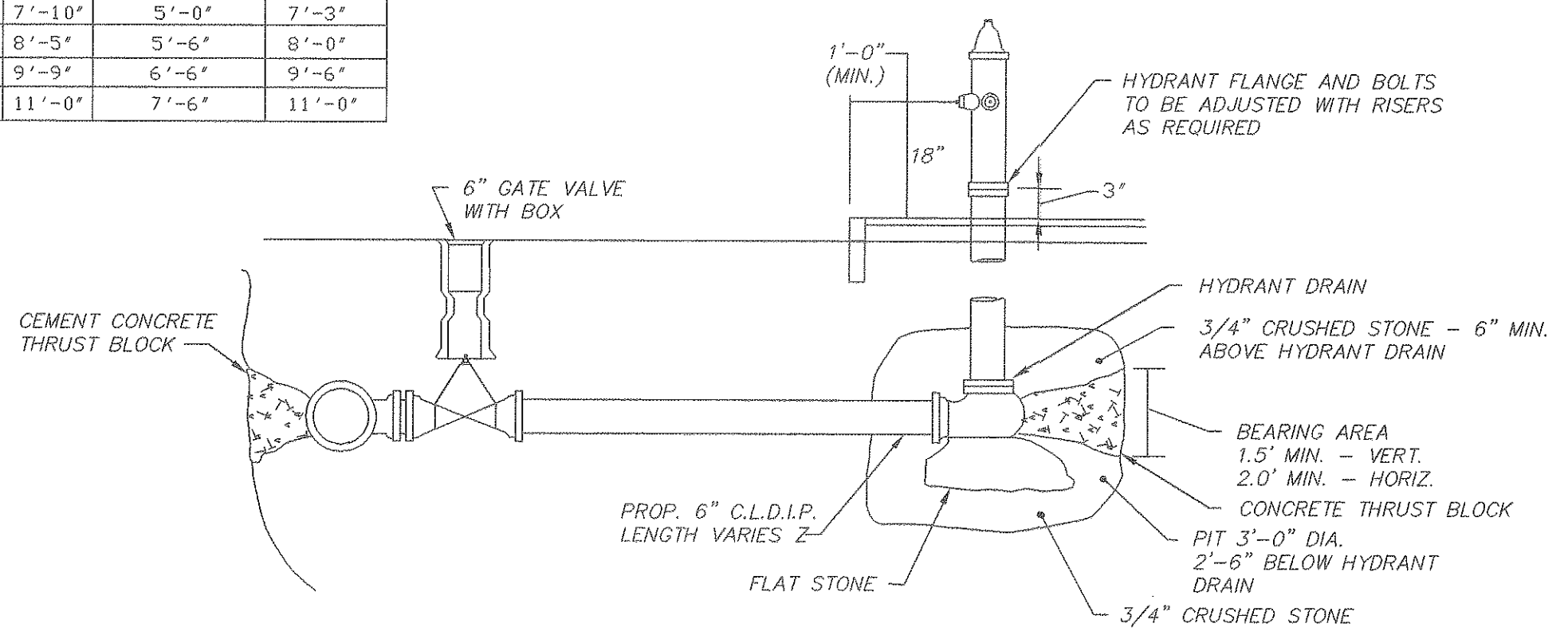
REINFORCED CONCRETE HEADWALL

1 1/2:1 AND 2:1 SLOPES										1 1/2:1 SLOPE 2:1 SLOPE	
D	E	G	H	J	L	N	P	F		F	
24"	3'-6"	4'-0"	4'-0"	3'-0"	2'-0"	2'-0"	4'-0"	2'-6"		3'-6"	
30"	4'-0"	4'-0"	6'-6"	3'-6"	2'-0"	2'-0"	5'-3"	3'-0"		4'-3"	
36"	4'-6"	4'-3"	7'-0"	4'-0"	2'-0"	2'-3"	5'-11"	3'-6"		5'-0"	
42"	5'-0"	4'-6"	7'-6"	4'-6"	2'-0"	2'-6"	6'-6"	4'-0"		5'-9"	
48"	5'-6"	4'-9"	8'-0"	5'-0"	2'-0"	2'-9"	7'-2"	4'-6"		6'-6"	
54"	6'-0"	5'-0"	8'-6"	5'-6"	2'-2"	3'-0"	7'-10"	5'-0"		7'-3"	
60"	6'-6"	5'-3"	9'-0"	6'-0"	2'-4"	3'-3"	8'-5"	5'-6"		8'-0"	
72"	7'-6"	5'-9"	10'-0"	7'-0"	2'-8"	3'-9"	9'-9"	6'-6"		9'-6"	
84"	8'-6"	6'-3"	11'-0"	8'-0"	3'-0"	4'-3"	11'-0"	7'-6"		11'-0"	

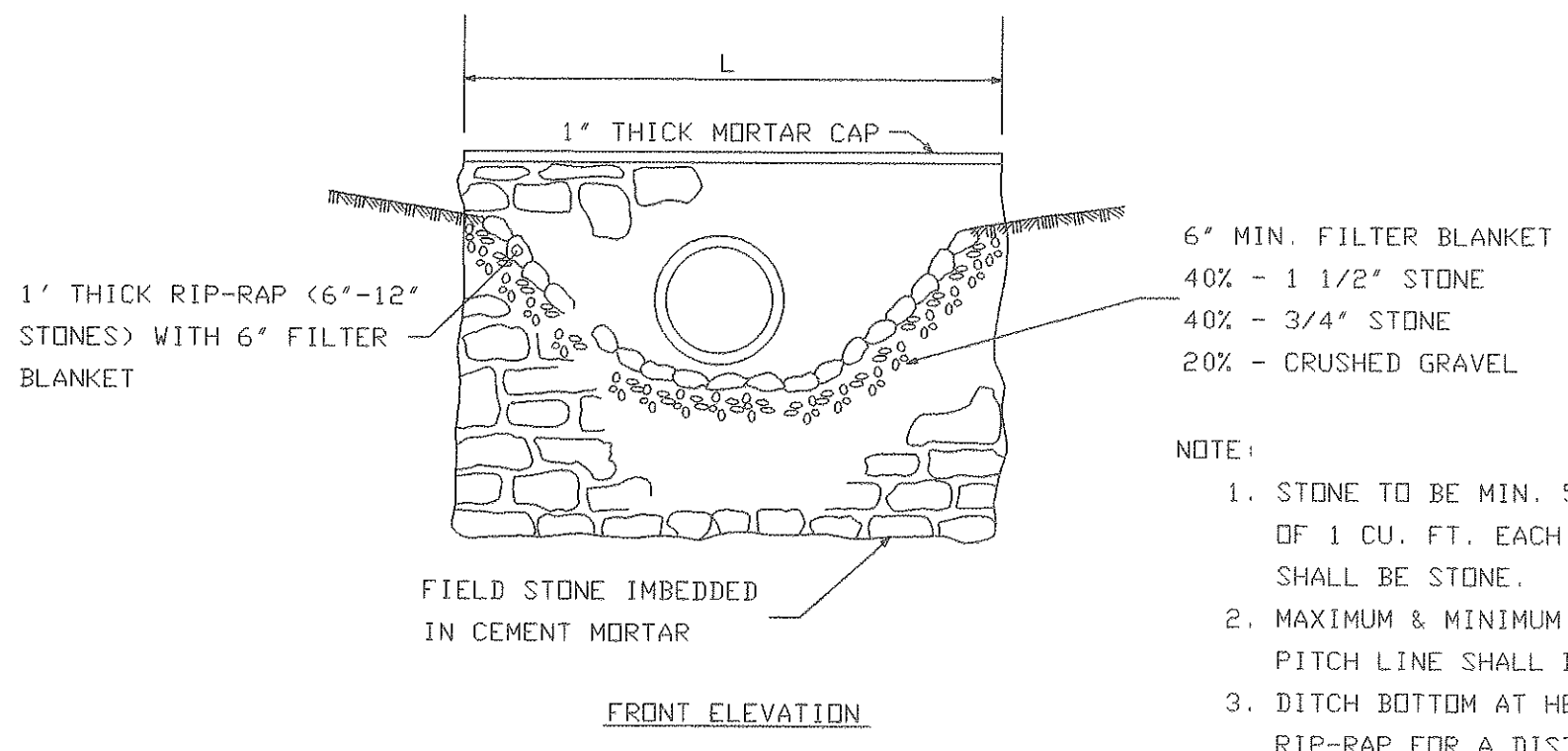


WOOD PEDESTRIAN WALKWAY DETAIL

NOTE: STRUCTURAL TIMBERS TO BE FASTENED WITH STANDARD GALVANIZED HANGERS AND WEBBING. PLANKING TO BE FASTENED WITH 1 1/2" OUTDOOR LAG SCREWS.



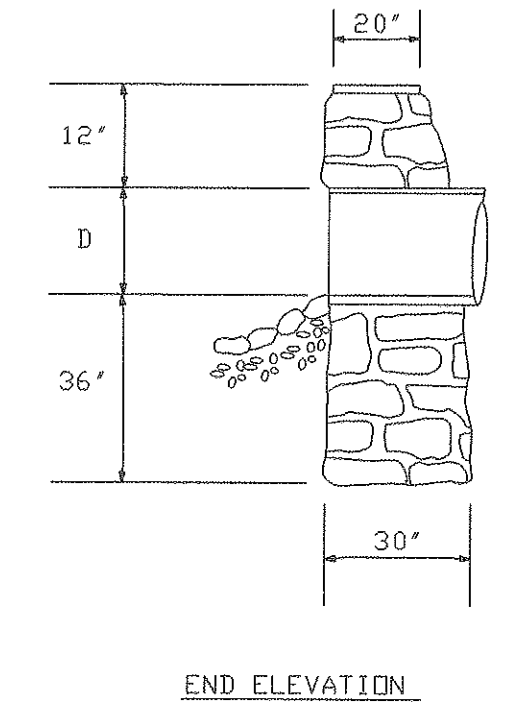
HYDRANT CONNECTION DETAIL



- NOTE:
1. STONE TO BE MIN. 5" THICK AND A VOLUME OF 1 CU. FT. EACH 50% OF THE TOTAL MASONRY SHALL BE STONE.
  2. MAXIMUM & MINIMUM PROJECTIONS OF ROCK FROM PITCH LINE SHALL BE 2".
  3. DITCH BOTTOM AT HEADWALL OUTFALL SHALL BE STONE RIP-RAP FOR A DISTANCE OF 15 FT..

FIELDSTONE HEADWALL

D	L	F.S.M. C.Y.
12"	7'-6"	1.49
15"	8'-9"	1.82
18"	10'-0"	2.18
24"	12'-6"	2.97
30"	13'-0"	3.86



WATERMAIN NOTES

1. IF SHEETING IS USED, IT SHALL BE CUT OFF NO MORE THAN 12" ABOVE THE PIPE TOP.
2. ALL PIPES SHALL BE TESTED TO A PRESSURE OF 200 P.S.I. FOR A TWO HOUR DURATION MINIMUM.
3. WATER SYSTEM TO BE DISINFECTED TO 50 P.P.M. AVAILABLE CLORINE AND AFTER 24 HRS. TO 25 P.P.M., OR AS REQUIRED BY THE TOWN WATER SUPT. WATER WILL BE INDEPENDENTLY TESTED.
4. WATER PIPE TO BE CEMENT LINED DUCTILE IRON "TYTON" OR EQUAL TYPE JOINT, CONFORMING TO A.N.S.I./A.W.W.A. A21.50/C150, CLASS 52 AND AS APPROVED BY THE TOWN ENGINEER.
5. ALL PIPING SHALL BE INSTALLED AND TESTED ACCORDING TO A.W.W.A. STANDARDS PRIOR TO PAVING, IF PAVING OF TRENCH IS REQUIRED.
6. BACKFILL TO BE COMPACTED TO NOT LESS THAN 90% MAX. DRY DENSITY BY A.A.S.H.T.O. T-190D D.
7. ALL WATER PIPES SHALL BE LAID WITH A MINIMUM OF 5' OF COVER OF APPROVED MATERIALS.
8. RESULTS FROM PRESSURE TESTING AND DISINFECTION SHALL BE FURNISHED TO THE TOWN WATER SUPT. FOR APPROVAL PRIOR TO WATER BEING TURNED ON.
9. ALL WORK SHALL BE IN CONFORMANCE WITH THE TOWN OF NORTH ANDOVER WATER DEPARTMENT STANDARDS.

6-22-98  
1-14-99  
DATE

THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS

*Stephen E. Swapski*  
STEPHEN E. SWAPSKI, R.L.S.

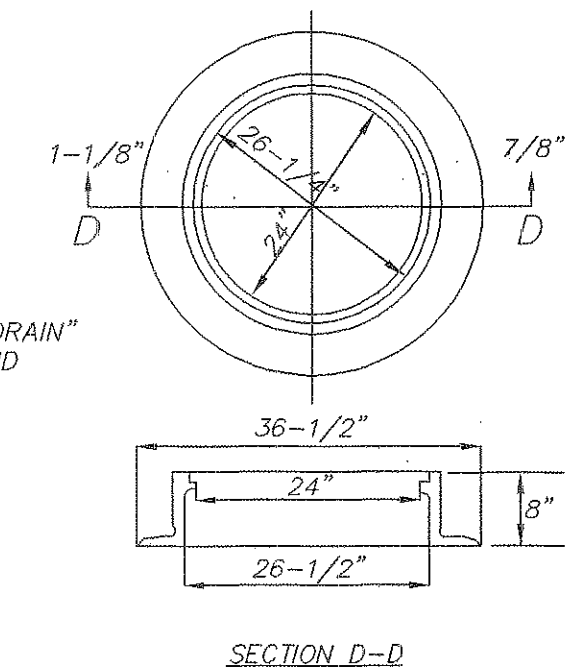
DEFINITIVE PLAN  
**WALNUT RIDGE**  
**NORTH ANDOVER, MASS.**  
DEVELOPER:  
**COPLEY DEVELOPMENT**  
50 COPLEY DRIVE - METHUEN, MASS. 01844  
SCALE: AS NOTED  
DATE: OCT. 29, 1997 REV.: 6-22-98  
MERRIMACK ENGINEERING SERVICES  
66 PARK STREET  
ANDOVER, MASSACHUSETTS 01810  
DETAILS SHEET 11 OF 14



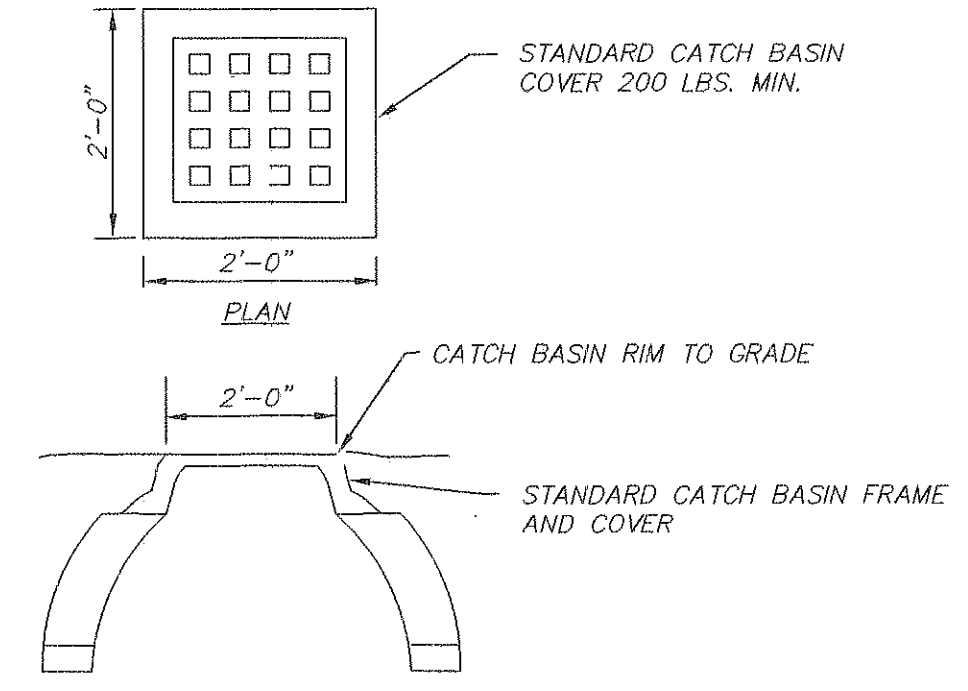
Plan # 13447  
Register of Deeds  
North District Essex County  
Received & Recorded  
April 8, 1999 at 10:45 A.M.  
Attest:  
*[Signature]*  
Register of Deeds  
FOR REGISTRY USE

APPROVED BY THE TOWN OF  
NORTH ANDOVER PLANNING BOARD  
*[Signature]* 3/14/99  
DATE  
FILED  
HEARING

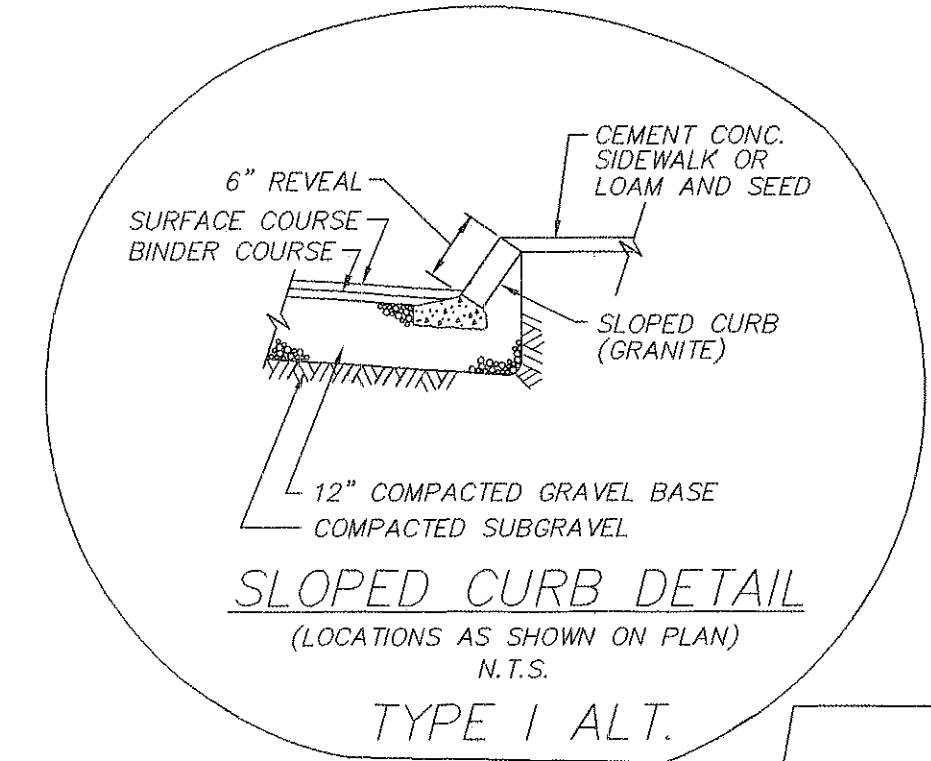
NOTE: MINIMUM FRAME WEIGHT 265 LBS. MATERIAL - CAST IRON - ADJUST TO GRADE WITH BRICK & MORTAR. MIN. COVER WEIGHT 200 LBS. MATERIAL CAST IRON WITH THE WORDS "SEWER" AND "DRAIN" CAST INTO IT FOR S.M.H. AND D.M.H. RESPECTIVELY. CAST IRON SHALL CONFORM TO A.S.T.M. A48, CLASS 30.



MANHOLE FRAME AND COVER  
N.T.S.

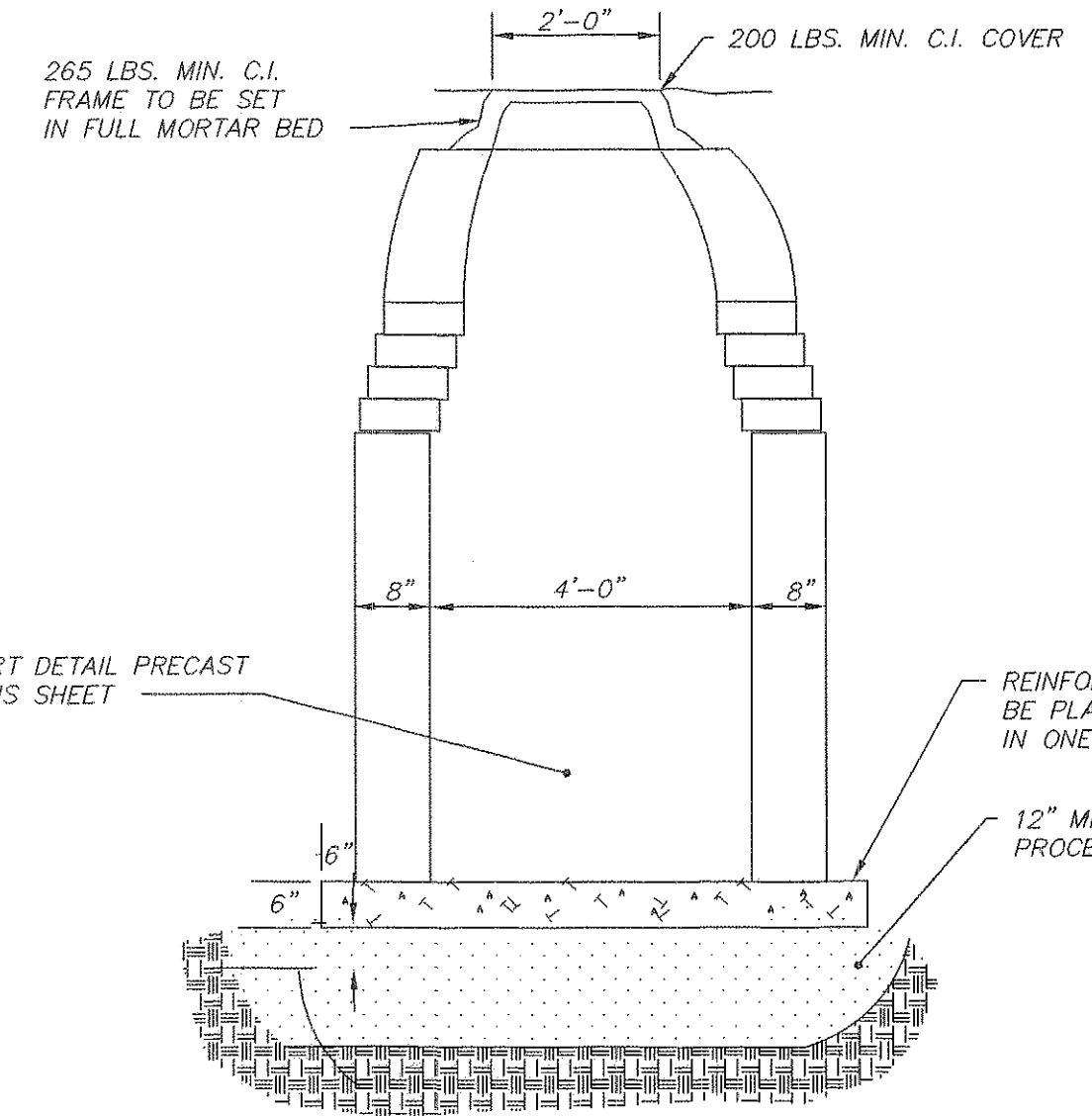
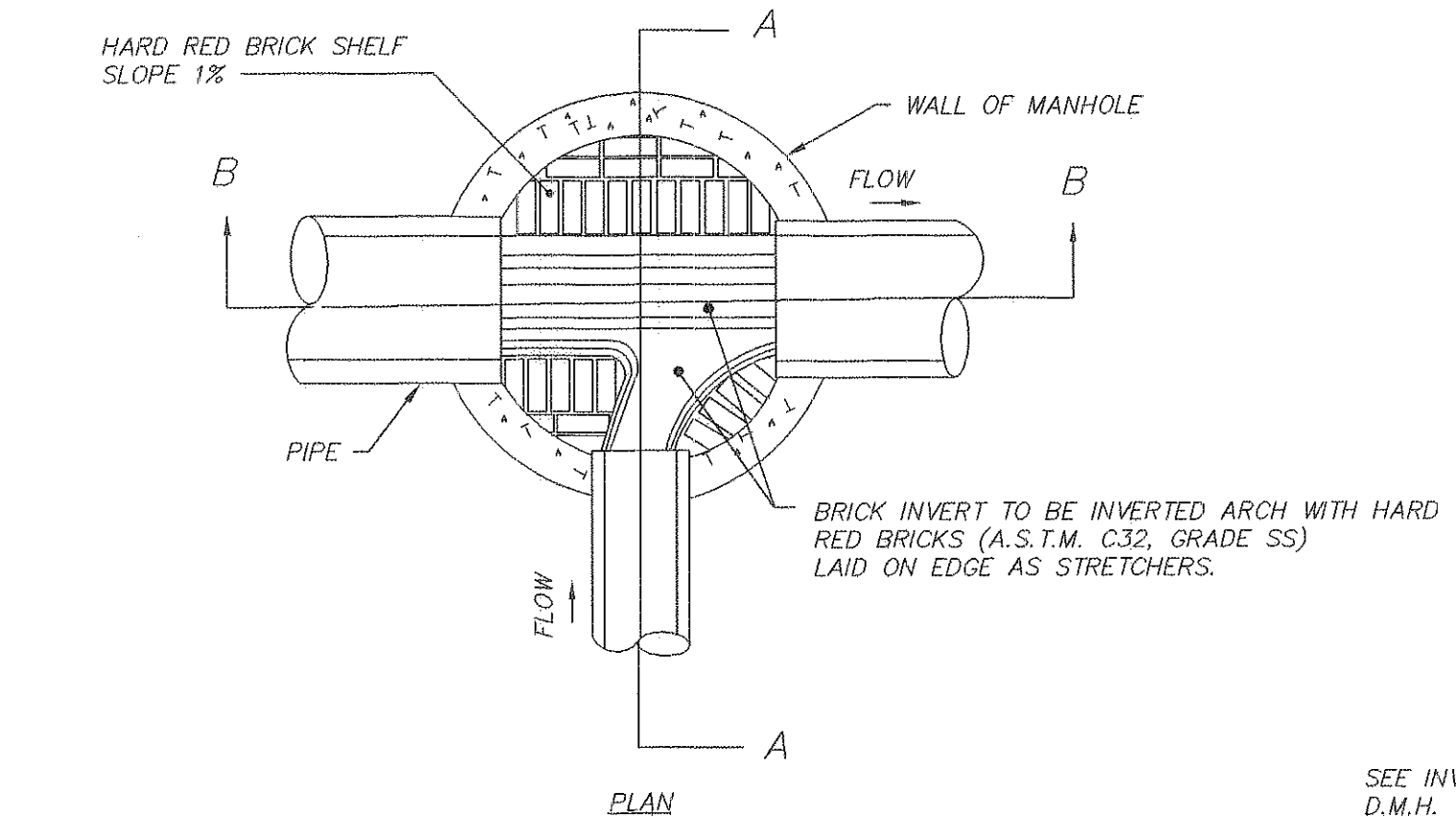


STANDARD CATCH BASIN FRAME & GRATE  
SECTION N.T.S.

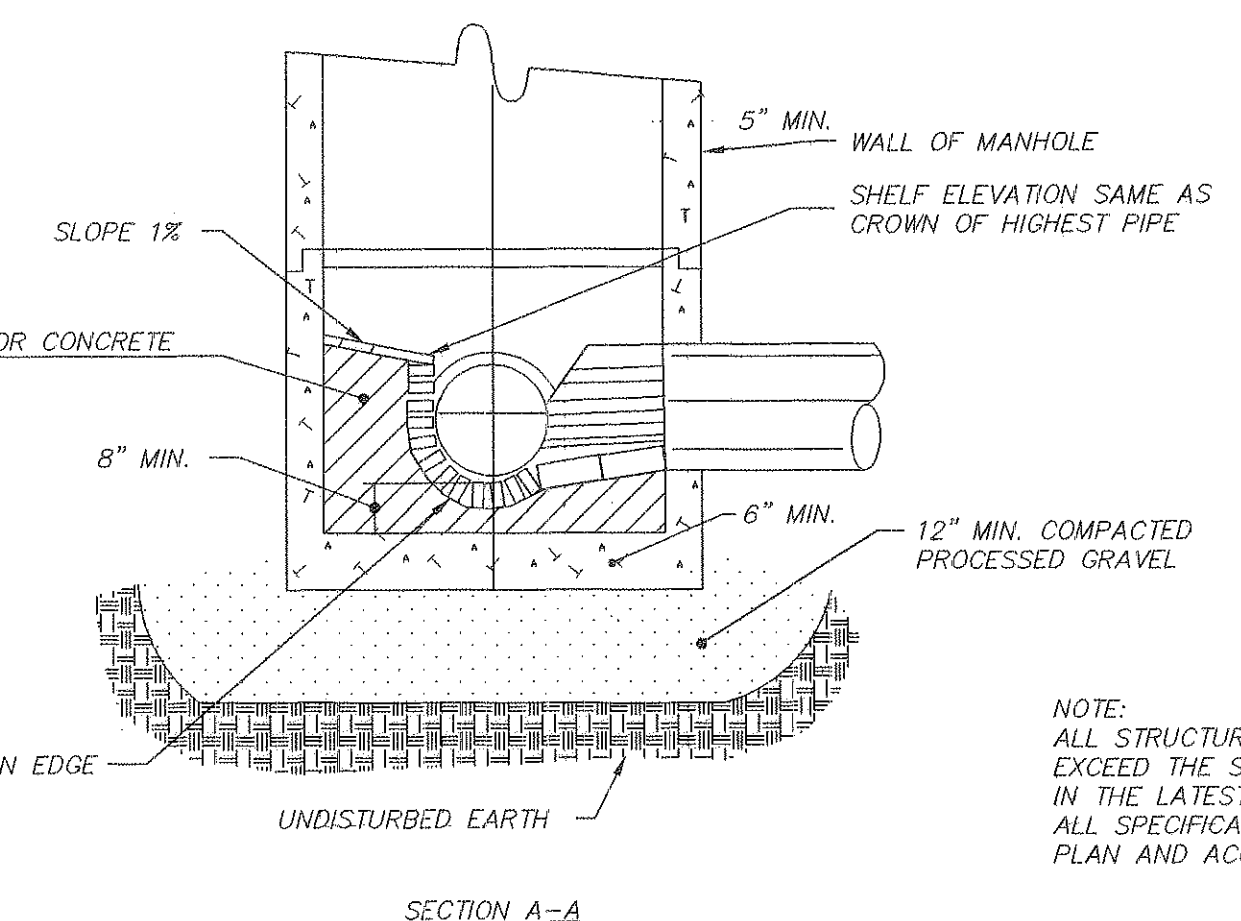
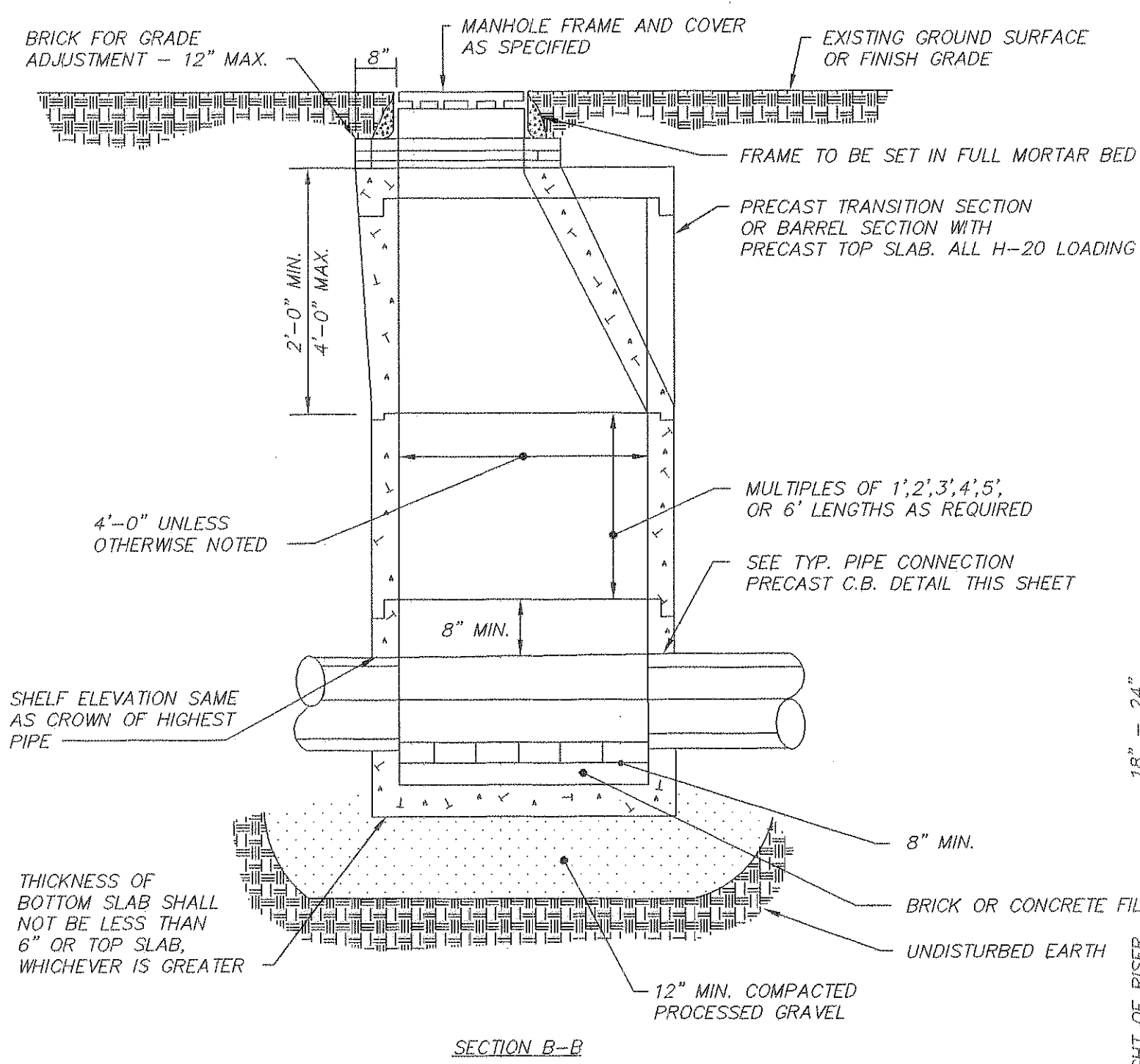


SLOPED CURB DETAIL  
(LOCATIONS AS SHOWN ON PLAN)  
N.T.S.  
TYPE I ALT.

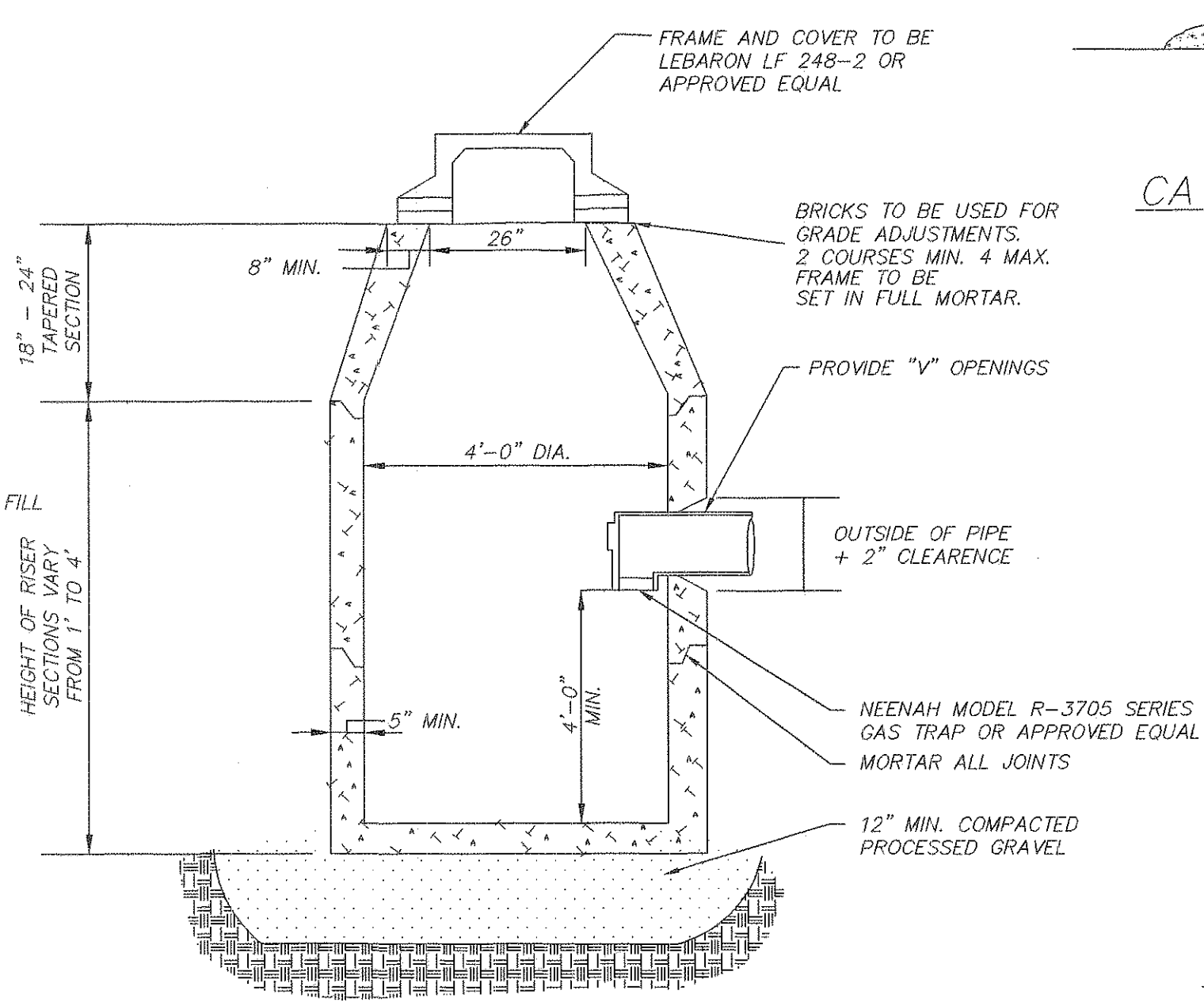
NOTE: STREET TREES TO BE PLANTED AS FOLLOWS (ALTERNATE INSTALLATION) OUTSIDE RIGHT OF WAY LINE:  
(1) AMERICAN SYCAMORE  
(2) SILVER MAPLE  
(3) CRAB APPLE  
(4) SHADEMASTER LOCUS



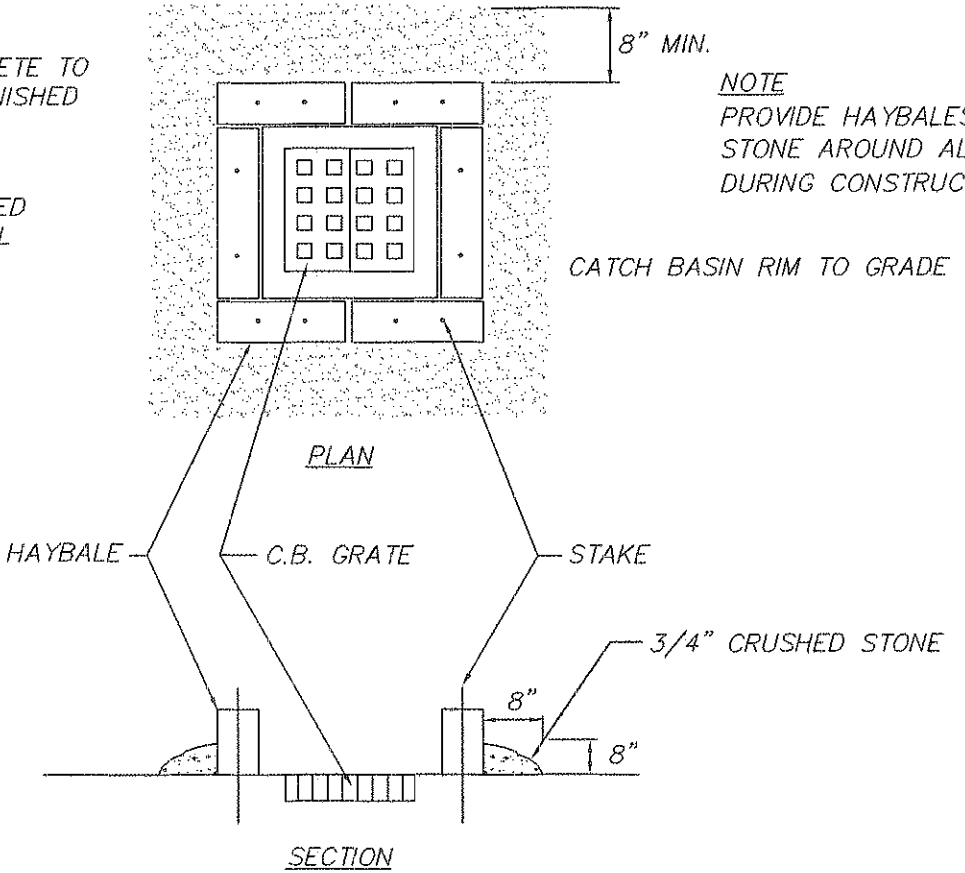
STANDARD CONCRETE BLOCK MANHOLE  
N.T.S.



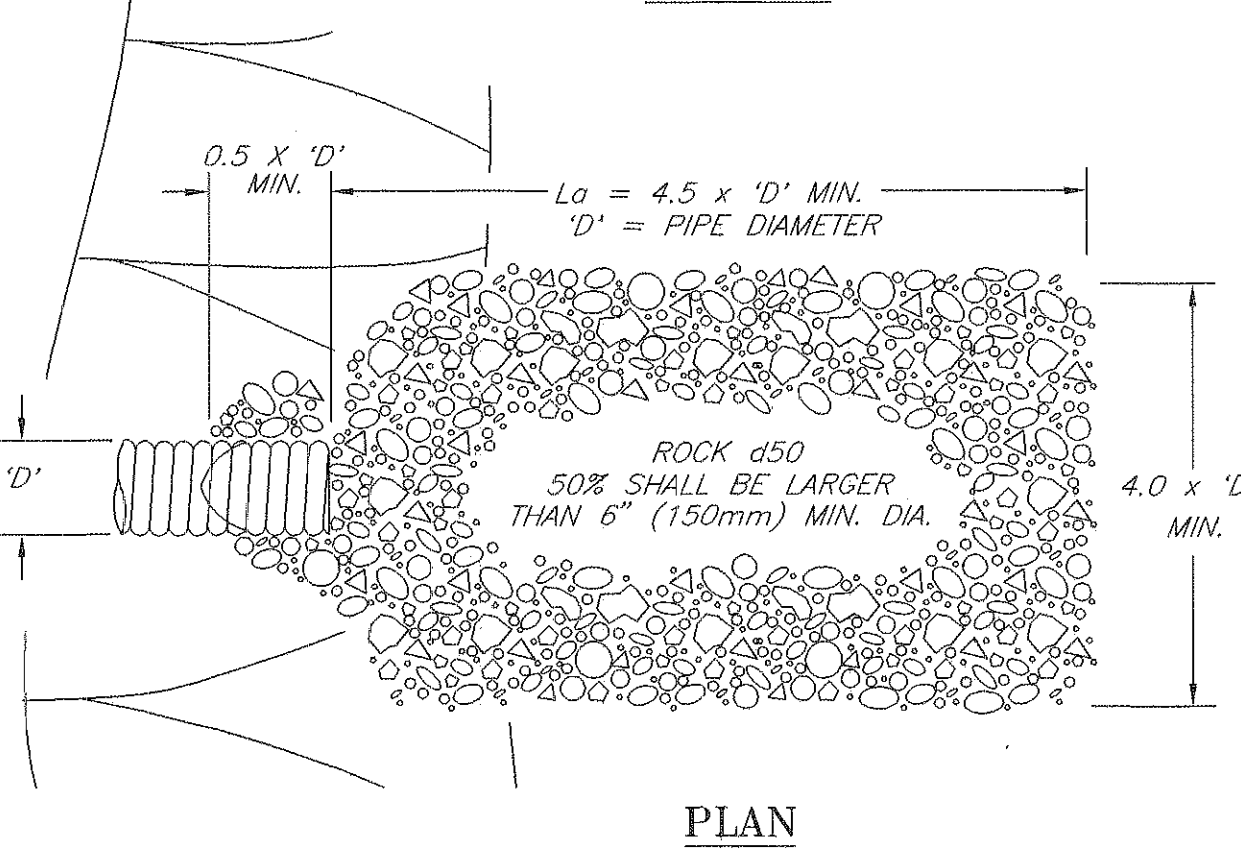
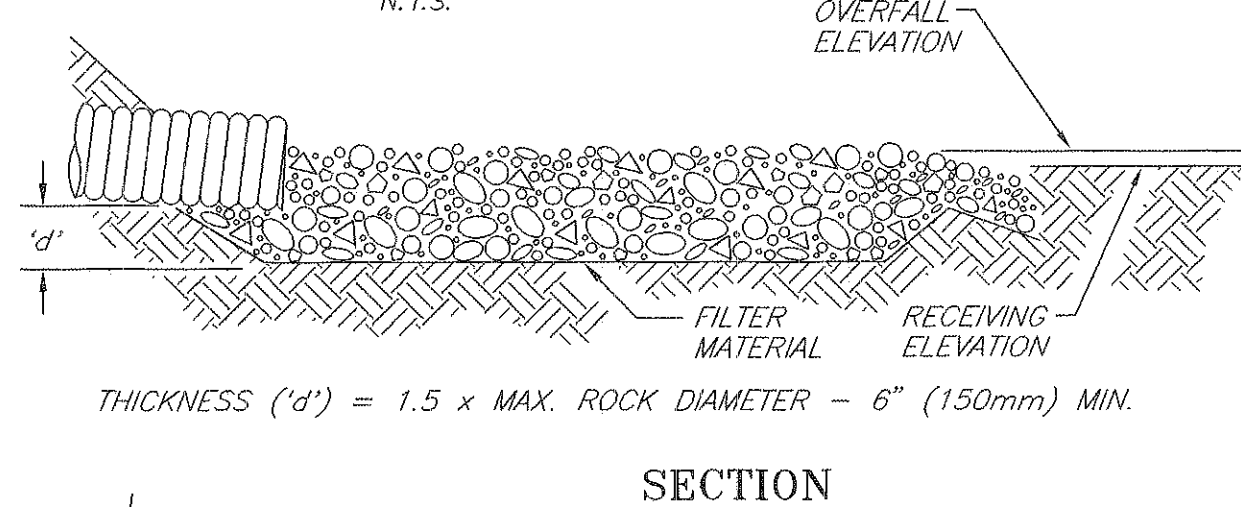
TYPICAL PRECAST DRAIN MANHOLE  
N.T.S.



PRECAST CATCH BASIN/C.B.M.H.  
N.T.S.

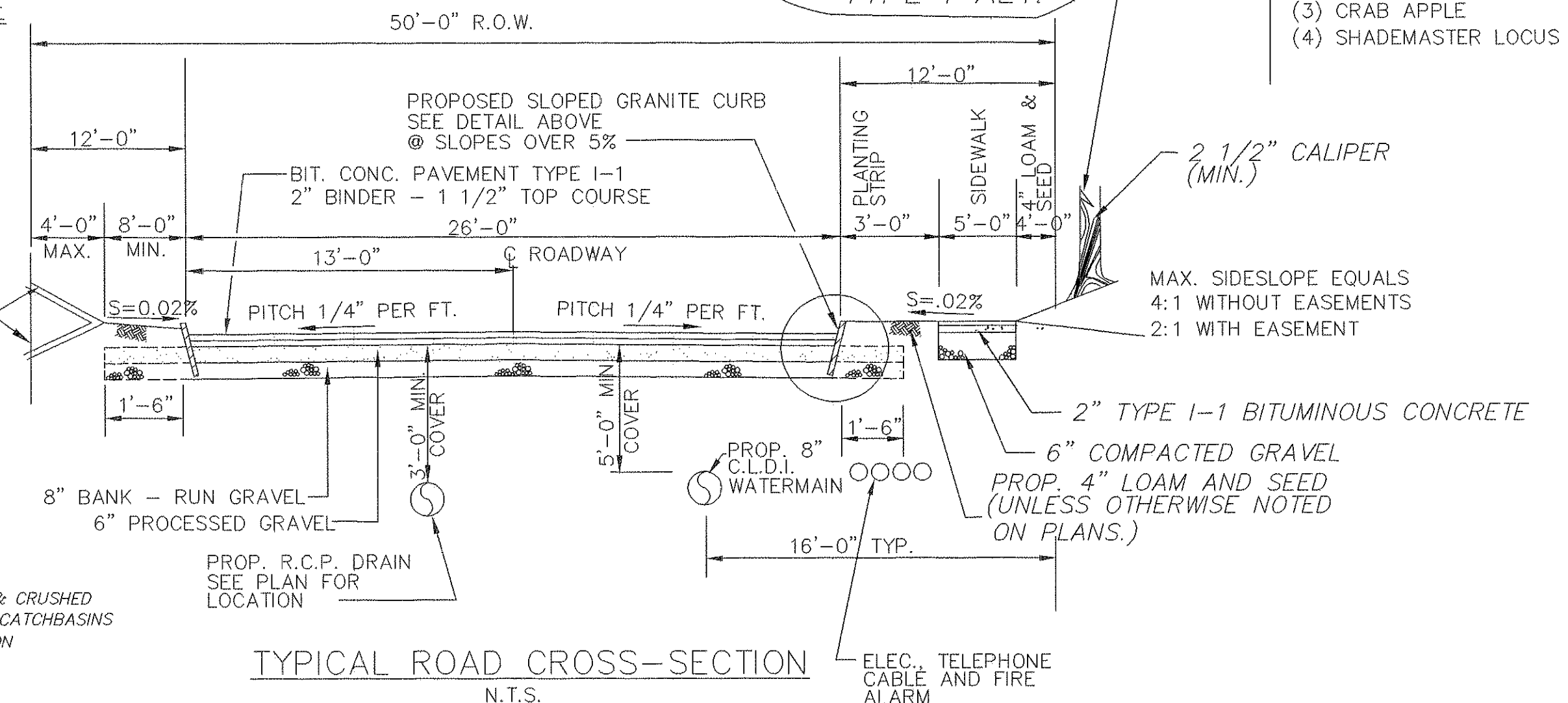


CATCH BASIN EROSION PROTECTION  
SECTION N.T.S.

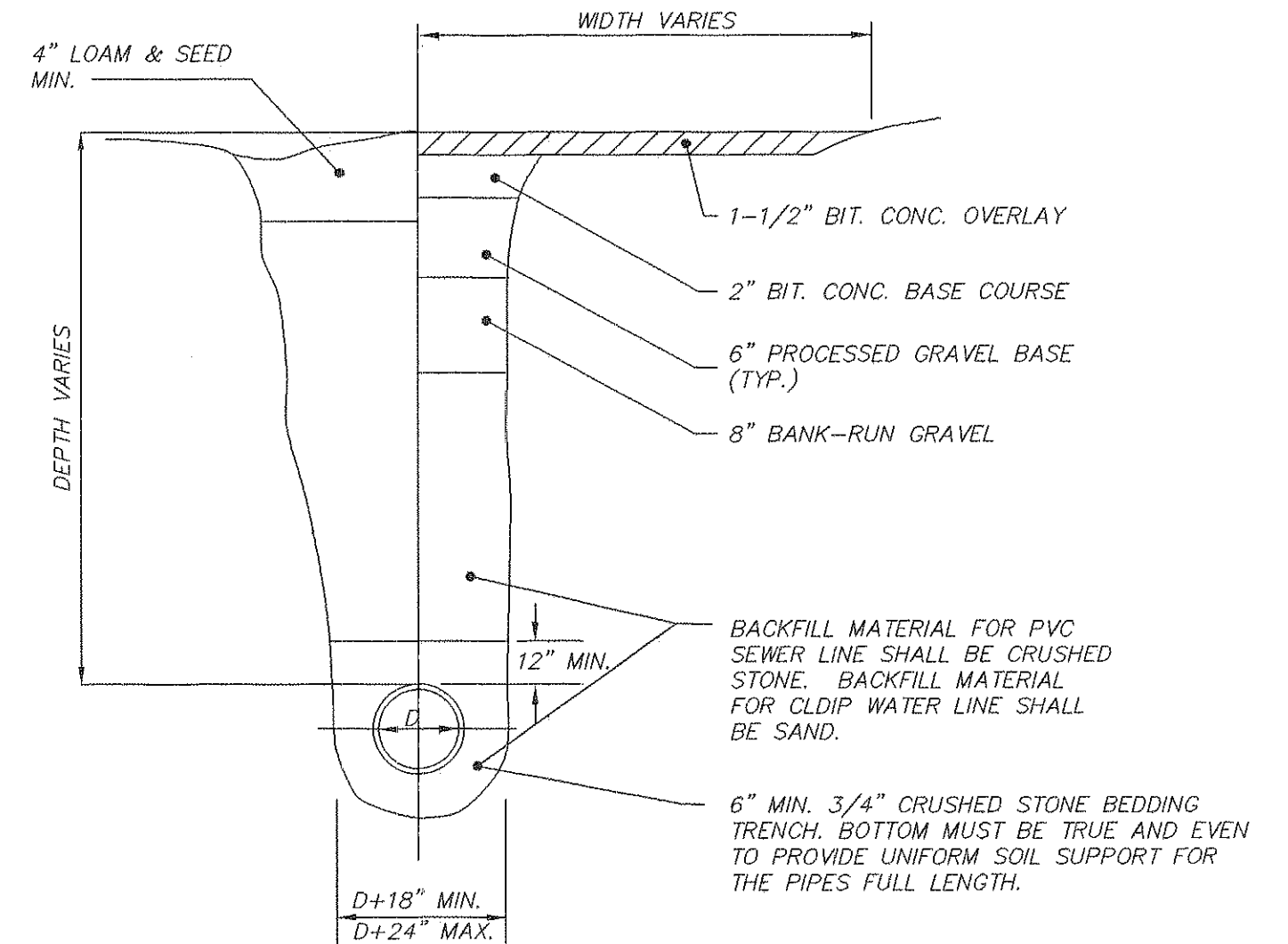


NOTES:  
1. 'Lo' = LENGTH OF APRON. DISTANCE 'Lo' SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.  
2. APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.  
3. FILTER MATERIAL SHALL BE FILTER FABRIC OR 6" (150mm) THICK MINIMUM GRADED GRAVEL LAYER.

RIP RAP @ OUTLET DETAIL  
N.T.S.



TYPICAL ROAD CROSS-SECTION  
N.T.S.



TYPICAL CLASS "B" TRENCH DETAIL  
N.T.S.

THIS IS TO CERTIFY THAT TWENTY (20) DAYS HAVE ELAPSED FROM DATE OF DECISION FILED WITHOUT FILING OF AN APPEAL.

DATE MARCH 17, 1999  
TOWN CLERK *[Signature]*

JOHN A. SOUCY, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
No. 39867

THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS

STEPHEN STAPHISKI, R.L.S.  
REGISTERED LAND SURVEYOR  
No. 2464

DEFINITIVE PLAN	
WALNUT RIDGE NORTH ANDOVER, MASS.	
DEVELOPER: COPLEY DEVELOPMENT	
50 COPLEY DRIVE - METHUEN, MASS. 01844	
SCALE: AS NOTED	0 1 2
DATE: OCTOBER 29, 1997	REV.: 6-22-98
MERRIMACK ENGINEERING SERVICES 66 PARK STREET ANDOVER, MASSACHUSETTS 01810	
DETAILS	SHEET 12 OF 14



Plan #13447  
Registry of Deeds  
North District Essex County  
Received & Recorded  
April 8, 1999 at 10:45 A.M.  
Attest:  
*Thomas F. Baker*  
Register of Deeds  
FOR REGISTRY USE

APPROVED BY THE TOWN OF  
NORTH ANDOVER PLANNING BOARD  
*John E. Simon* 3/16/99  
DATE  
\_\_\_\_\_  
FILED  
\_\_\_\_\_  
HEARING

THIS IS TO CERTIFY THAT TWENTY (20) DAYS  
HAVE ELAPSED FROM DATE OF DECISION FILED  
WITHOUT FILING OF AN APPEAL.

DATE MARCH 17, 1999  
TOWN CLERK *Joseph A. Bradshaw*

C:\SERVER\MES\13447\13447.DWG



FOUNDATION DRAIN (TYP.)  
TO BE CONSTRUCTED  
WITHIN 1 FOOT OF  
FOUNDATION WALL.  
OUTLET PIPES TO BE  
INSTALLED ON A CONSTANT  
GRADE TO DAYLIGHT

PROP. SILT FENCE AND  
HAYBALES (EROSION CONTROL)

100' BUFFER ZONE

50' NO BUILD  
ZONE  
25' NO DISTURB  
ZONE

PROP. NORTH AMERICAN  
GREEN S150 EROSION  
CONTROL BLANKET

PROP. CRUSHED FILTER  
BERM

APPROX. LOCATION  
EXISTING LEACHING  
FIELD

N/F BARKER

N/F BONZAGNI

N/F BONACORSO

EXISTING DRIVEWAY TO  
BE REMOVED

PROP. CONC.  
DRIVEWAY

PROP. BIT. CONC.  
DRIVEWAY

PROP. 400 S.F. WETLAND  
REPLACEMENT

PROP. 193 SF OF WETLAND  
FILLING

BENCHMARK  
CENTER FND. LL=181.22

LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

LOT 6

LOT 7

LOT 8

DATE 1-14-99  
6-22-98  
DATE

THIS PLAN CONFORMS TO THE RULES AND  
REGULATIONS OF THE REGISTRY OF DEEDS

STEPHEN E. STANISLAWSKI, R.L.S.

JOHN A. SOUTHERN  
CIVIL  
No. 39867  
JOHN A. SOUTHERN, P.E.

DEFINITIVE PLAN

**WALNUT RIDGE**  
**NORTH ANDOVER, MASS.**

OWNER AND DEVELOPER:  
**COPLEY DEVELOPMENT**  
50 COPLEY DRIVE - METHUEN, MASS. 01844

SCALE: 1"=40'

DATE: OCTOBER 29, 1997 REV. 6-22-98

MERRIMACK ENGINEERING SERVICES  
66 PARK STREET  
ANDOVER, MASSACHUSETTS 01810

EROSION CONTROL PLAN SHEET 13 OF 14



Plan # 13447  
Registry of Deeds  
North District Suffolk County  
Received & Recorded  
April 8, 1999 at 10:45 A.M.  
Attest:  
[Signature]  
Register of Deeds  
FOR REGISTRY USE

APPROVED BY THE TOWN OF  
NORTH ANDOVER PLANNING BOARD  
[Signature] 3/14/99  
DATE  
\_\_\_\_\_  
FILED  
\_\_\_\_\_  
HEARING  
\_\_\_\_\_

THIS IS TO CERTIFY THAT TWENTY (20) DAYS  
HAVE ELAPSED FROM DATE OF DECISION FILED  
WITHOUT FILING OF AN APPEAL.

DATE MARCH 17, 1999  
TOWN CLERK Joyce A. Bruckner

**Walnut Ridge Definitive Subdivision  
Conditional Approval**

The Planning Board herein **APPROVES** the Definitive Subdivision for an eleven (11) lot subdivision with ten (10) new homes and one existing home known as Walnut Ridge. Marie Pitochelli, 50 Copley Drive, Methuen, MA 01844, submitted this application on October 31, 1997. The area affected is an extension of the existing Cricket Lane and is located in the R-2 Zoning District.

The Planning Board makes the following findings as required by the Rules and Regulations Governing the Subdivision of Land:

- A. The Definitive Plan, dated October 29, 1997, last revised on 4/29/98 and 5/6/98, includes all of the information indicated in Section 3 of the Rules and Regulations concerning the procedure for the submission of plans.
- B. The Definitive Plan adheres to all of the design standards as indicated in Section 7 of the Rules and Regulations except as noted in Condition 14.
- C. The Definitive Plan is in conformance with the purpose and intent of the Subdivision Control Law.
- D. The Definitive Plan complies with all of the review comments submitted by various town departments in order to comply with state law, town by-laws and insure the public health, safety, and welfare of the town.

Finally, the Planning Board finds that the Definitive Subdivision complies with Town Bylaw requirements so long as the following conditions are complied with:

- 1) **Environmental Monitor:** The applicant shall designate an independent environmental monitor who shall be chosen in consultant with the Planning Department. The Environmental Monitor must be available upon four- (4) hour's notice to inspect the site with the Planning Board designated official. The Environmental Monitor shall make weekly inspections of the project and **file monthly reports** to the Planning Board throughout the duration of the project. The monthly reports shall detail area of non-compliance, if any and actions taken to resolve these issues.
- 2) **VORTECH UNITS:** The Department of Public Works has agreed to allow the use of Vortech units for this subdivision only for evaluation of the system with the following conditions:
- a) The units are to be installed just behind the road property line for easy access by inspection personnel and cleaning equipment. These proposed locations must be approved by the DPW.
- b) The developers, through their engineer, must maintain a monthly inspection schedule. Copies, certified by the engineer shall be submitted to the DPW within one week of said inspection. Cleaning when needed shall also be completed within one week of said inspection. This monthly inspection shall for the first year of use beginning after the installation of the binder coat of pavement. The DPW shall verify this starting date.
- c) The developer shall provide a prepaid service contract with a suitable firm to provide inspection and cleaning services. The time period for this contract shall be five years and will begin after the first year discussed in condition (b) above. The proposed firm and inspection and cleaning schedule shall be approved by the DPW. This schedule shall be determined from the results of the first year of inspection and may be amended during the contract life if necessary.
- 3) **Prior to endorsement** of the plans by the Planning Board the applicant shall adhere to the following:
- a) All comments as outlined in the memo dated May 28, 1998 to Kathleen Bradley Colwell, Town Planner from James Rand, Jr., Director of Engineering must be addressed as follows:
- i) Detention Basin 10 should be revised to provide a full berm and natural slope on both sides.
- ii) Detention Basins 20 and 30 must be modified to allow access to the basins other than over the Vortechs units.
- iii) Additional construction details are required on the discharge structure section on sheet 9 of the proposed plans.
- iv) A schedule and plan must be submitted for the removal of the pavement in the existing cul-de-sac. The existing lawns and driveways must be extended to the new paving line and must be blended in appropriately.
- v) Water main note #2 must be revised to require a test pressure of 200 for 2 hours.

- b) Details for the outlet riprap must be provided.
- c) A revised Landscape Plan must be submitted and approved by the Planning Board that conforms to the approved subdivision plan. The plan must be prepared and stamped by a Landscape Architect and a Registered Land Surveyor registered in the State of Massachusetts. Street trees must continue along the southern side of the new roadway out to the existing portion of Cricket Lane.
- d) A Development Schedule must be submitted for signature by the Planning Board, which conforms to both Sections 4.2, and Section 8.7 of the North Andover Zoning Bylaw. The schedule must show building permit eligibility by quarter for all lots.
- e) A Site Opening Bond in the amount of **five thousand (\$5,000) dollars** to be held by the Town of North Andover. The Site Opening Bond shall be in the form of a check made out to the Town of North Andover that will be placed into an interest bearing escrow account. This amount shall cover any contingencies that might affect the public welfare such as site-opening, clearing, erosion control and performance of any other condition contained herein, prior to the posting of the Roadway Bond as described in Condition 4(d). This Site Opening Bond may at the discretion of the Planning Board be rolled over to cover other bonding considerations, be released in full, or partially retained in accordance with the recommendation of the Planning Staff as directed by a vote of the NAPP.
- f) The final subdivision plans must be reviewed and approved by the outside consultant, the Planning Department and D.P.W.
- g) A covenant (**FORM I**) securing all lots within the subdivision for the construction of ways and municipal services must be submitted to the Planning Board. Said lots may be released from the covenant upon posting of security as requested in Condition 4(d).
- h) The applicant must submit to the Town Planner a **FORM M** for all utilities and easements placed on the subdivision.
- i) All application fees must be paid in full and verified by the Town Planner.
- j) The applicant must meet with the Town Planner in order to ensure that the plans conform to the Board's decision. A full set of final plans reflecting the changes outlined above, must be submitted to the Town Planner for review endorsement by the Planning Board, within **ninety (90) days** of filing the decision with the Town Clerk.
- k) The Subdivision Decision for this project must appear on the mylars.
- l) All documents shall be prepared at the expense of the applicant, as required by the Planning Board Rules and Regulations Governing the Subdivision of Land.
- 4) **Prior to ANY WORK on the site,**
- a) Orange fence must be placed at the edge of the tree canopy as shown on the revised Landscape Plan required by condition 2(a) above. The Planning Staff must be contacted prior to any cutting and or clearing on site.
- b) All erosion control measures as shown on the plan and outlined in the erosion control plan must be in place and reviewed by the Town Planner.
- 5) **Prior to any lots being released** from the statutory covenants:
- a) Three (3) complete copies of the endorsed and recorded subdivision plans and one (1) certified copy of the following documents: recorded subdivision approval, recorded Covenant (**FORM I**), recorded Growth Management Development Schedule, and recorded **FORM M** must be submitted to the Town Planner as proof of recording.
- b) All site erosion control measures required to protect off site properties from the effects of work on the lot proposed to be released must be in place. The Town Planning Staff shall determine whether the applicant has satisfied the requirements of this provision prior to each lot release and shall report to the Planning Board prior to a vote to release said lot.
- c) The applicant must submit a lot release **FORM J** to the Planning Board for signature.
- d) A Performance Security in an amount to be determined by the Planning Board, upon the recommendation of the Department of Public Works, shall be posted to ensure completion of the work in accordance with the Plans approved as part of this conditional approval. The bond must be in the form of a check made out to the Town of North Andover. This check will then be placed in an interest bearing escrow account held by the Town. Items covered by the Bond may include, but shall not be limited to:
- i) as-built drawings
- ii) sewers and utilities
- iii) roadway construction and maintenance
- iv) lot and site erosion control
- v) site screening and street trees
- vi) drainage facilities
- vii) site restoration
- viii) final site cleanup
- A Performance Security may be established for each phase individually.
- 6) **Prior to a FORM U verification** for an individual lot, the following information is required by the Planning Department:
- a) Per requirement of the NAPD, the sidewalk on the existing portion of Cricket Lane must be constructed. The sidewalk on the new portion of Cricket Lane must be graded and staked at a minimum.
- b) The proposed trail connecting Cricket Lane with Johnson Street must be completed prior to the issuance of a building permit on Lot 6. The trail must be constructed as shown on Sheet 7 of the approved plan and on a plan entitled "Town Land Pedestrian Walkway Plan", drawn by Merrimack Engineering for Copley Development.

- c) An as-built plan must be submitted to the Division of Public Works for review and approval prior to acceptance of the sewer appurtenances for use.
- d) The applicant must submit a certified copy of the recorded **FORM J** referred to in Condition \_\_\_\_\_ above.
- e) A plot plan for the lot in question must be submitted, which includes all of the following:
- i) location of the structure,
- ii) location of the driveways,
- iii) location of the septic systems if applicable,
- iv) location of all water and sewer lines,
- v) location of wetlands and on site improvements required under a NACC order of condition,
- vi) any grading called for on the lot,
- vii) all required zoning setbacks,
- viii) Location of any drainage, utility and other easements.
- f) All appropriate erosion control measures for the lot shall be in place. The Planning Board or Staff shall make final determination of appropriate measures.
- g) Lot numbers, visible from the roadways must be posted on all lots.
- 7) **Prior to a Certificate of Occupancy** being requested for an individual lot, the following shall be required:
- a) **Due to the complexity of each lot a certified as-built plan must be submitted to the DPW and Planning Department which includes all structures, pavement, spot elevations, contours and setback distances to all applicable property and zone lines etc.**
- b) Sprinkler systems must be installed in all homes per NAFFD requirements.
- c) The roadway must be constructed to at least binder coat of pavement to properly access the lot in question. Prior to construction of the binder coat, the applicant shall ensure that all required inspection and testing of water, sewer, and drainage facilities has been completed. The applicant must submit to the Town Planner an interim as-built, certified by a professional engineer, verifying that all utilities have been installed in accordance with the plans and profile sheet.
- d) All necessary permits and approvals for the lot in question shall be obtained from the North Andover Board of Health, and Conservation Commission.
- e) Permanent house numbers must be posted on dwellings and be visible from the road.
- f) There shall be no driveways placed where stone bound monuments and/or catch basins are to be set. It shall be the developer's responsibility to assure the proper placement of the driveways regardless of whether individual lots are sold. The Planning Board requires any driveway to be moved at the owner's expense if such driveway is at a catch basin or stone bound position.
- 8) **Prior to the final release of security** retained for the site by the Town, the following shall be completed by the applicant:
- a) An as-built plan and profile of the site shall be submitted to the DPW and Planning Department for review and approval.
- b) The applicant shall petition Town Meeting for public acceptance of the street. Prior to submitting a warrant for such petition the applicant shall review the subdivision and all remaining work with the Town Planner and Department of Public Works. The Planning Board shall hold a portion of the subdivision bond for continued maintenance and operations until such time as Town Meeting has accepted (or rejected in favor of private ownership) the roadways. It shall be the developer's responsibility to insure that all proper deeds and easements have been recorded at the Registry of Deeds.
- c) The Applicant shall ensure that all Planning, Conservation Commission, Board of Health and Division of Public Works requirements are satisfied and that construction was in strict compliance with all approved plans and conditions.
- 9) The applicant shall adhere to the following requirements of the Fire Department:
- a) Open burning is allowed by permit only after consultation with the Fire Department.
- b) Underground fuel storage will be allowed in conformance with the Town Bylaws and State Statute and only with the review and approval of the Fire Department and Conservation Commission.
- 10) There shall be no burying or dumping of construction material on site.
- 11) The location of any stump dumps on site must be pre-approved by the Planning Board.
- 12) The contractor shall contact Dig Safe at least 72 hours prior to commencing any excavation.
- 13) Gas, Telephone, Cable, and Electric utilities shall be installed as specified by the respective utility companies.
- 14) Any action by a Town Board, Commission, or Department which requires changes in the roadway

alignment, placement of any easements or utilities, drainage facilities, grading or no cut lines, may be subject to modification by the Planning Board.

15) The following waivers from the Rules and Regulations Governing the Subdivision of Land, North Andover, Massachusetts, revised February, 1989 have been granted by the Planning Board:

- a) Section 7(A)(4) Dead-End Streets: The Planning Board herein grants a waiver of approximately 1200' for the street length. The applicant has demonstrated that the street cannot extend further due to the presence of wetlands.
- b) The Planning Board waives the minimum cover over pipe to 24".
- c) These waivers have been granted in an effort to minimize the amount of cutting and filling required on site thereby decreasing the amount of erosion and siltation on site.

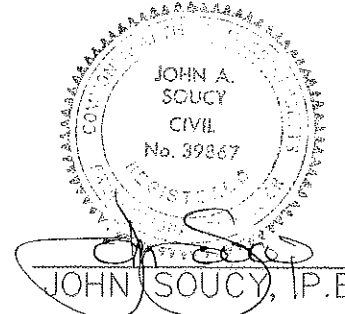
16) The utilities must be installed and the streets or ways constructed to binder coat by June 24, 2000 (two years from the date permit granted). If the utilities are not installed, the streets or ways are not constructed to binder coat and the Planning Board has not granted an extension by the above referenced date, this definitive subdivision approval will be deemed to have lapsed.

17) This Definitive Subdivision Plan approval is based upon the following information which is incorporated into this decision by reference:

- a) Plans Entitled:
- i) "Definitive Plan of Land, Walnut Ridge" a Single Family Residence in North Andover, ten sheets dated 10/29/97, last revised 5/6/98, prepared by Merrimack Engineering Services, Inc, developer: Copley Development, 50 Copley Drive, Methuen, Mass 01844.
- ii) "Landscape Plan Definitive Plan, Walnut Ridge, North Andover, Mass"; developer: Copley Development, 50 Copley Drive, Methuen, Mass, 01844; scale: 1" = 40'; dated November 24, 1997, as further revised by Condition 2(a); prepared by Merrimack Engineering Services, Inc. and Weinmayr Associates, Inc.
- b) Reports entitled:
- i) "Stormwater Analysis" dated 10/30/97, revised 4/28/98, prepared by Merrimack Engineering Services, Inc.
- ii) "Statement of Environmental and Community Impact, Test Pit/Perc test Logs, Stormwater Analysis", dated October 1997, prepared by Merrimack Engineering Services, Inc.
- iii) Erosion and Sediment Control Plan to Accompany a Notice of Intent, Walnut Ridge, North Andover, Massachusetts", November 10, 1997, revised March 31, 1998, prepared for Merrimack Engineering Services, Inc., prepared by Wetlands Preservation Inc., 47 Newton Road, Plaistow, NH 03865

cc.  
Conservation Administrator  
Director of Public Works  
Health Administrator  
Building Inspector  
Police Chief  
Fire Chief  
Assessor  
Applicant  
Engineer  
File

Walnut Ridge - subdivision



THIS PLAN CONFORMS TO THE RULES AND  
REGULATIONS OF THE REGISTRY OF DEEDS

[Signature]  
STEPHEN E. SWAPINSKI, R.L.S.

6-22-98  
1-14-99  
DATE

6-22-98  
1-14-99  
DATE

DEFINITIVE PLAN	
WALNUT RIDGE NORTH ANDOVER, MASS.	
OWNER AND DEVELOPER: COPLEY DEVELOPMENT 50 COPLEY DRIVE - METHUEN, MASS. 01844	
SCALE: AS NOTED	0 1 2
DATE: OCT. 1, 1997	REV.: 6-22-98
MERRIMACK ENGINEERING SERVICES 66 PARK STREET ANDOVER, MASSACHUSETTS 01810	
CONDITIONS OF APPROVAL SHEET 14 OF 14	

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